

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN

PROPOSED BAND ROOM ADDITION

FOR

TRINITY HIGH SCHOOL

3601 SIMPSON FERRY ROAD

LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

GENERAL NOTES

1. THE PURPOSE OF THIS LAND DEVELOPMENT PLAN IS TO DEPICT A PROPOSED BUILDING EXPANSION FOR TRINITY HIGH SCHOOL.
2. PARCEL INFORMATION: UNIFORM PARCEL IDENTIFIER: 13-23-0553-013EX DEED REFERENCE: DEED/RECORD BOOK 20-K-912 PLAN REFERENCE: PLAN/RECORD BOOK 201308296
3. EXISTING LAND TRACT IS ZONED: C-4, REGIONAL COMMERCIAL
4. ADJACENT LAND TRACTS ARE ZONED: NORTH: C-4, REGIONAL COMMERCIAL SOUTH: MUN. MIXED USED NEIGHBORHOOD EAST: C-4, REGIONAL COMMERCIAL / MUN. MIXED USE NEIGHBORHOOD / R1, SINGLE FAMILY ESTABLISHED RESIDENTIAL
5. EXISTING LAND TRACT(S) USE: EDUCATIONAL SERVICES PROPOSED LAND TRACT(S) USE: EDUCATIONAL SERVICES
6. EXISTING LOT(S) ARE SERVED BY AN EXISTING PUBLIC WATER SUPPLY AND AN EXISTING PUBLIC SANITARY SEWAGE DISPOSAL SYSTEM PROVIDED BY LOWER ALLEN TOWNSHIP.
7. MINIMUM REQUIRED LOT AREA: NONE EXISTING LOT AREA: 1,286,613 S.F. (29.54 A.C.) GROSS (PER PB. 201308296)
8. MINIMUM REQUIRED LOT WIDTH: 50 FT. (AT RIGHT-OF-WAY LINE) EXISTING LOT WIDTH (ALONG GETTYSBURG ROAD): >50 FT. (AT RIGHT-OF-WAY LINE) (ALONG SIMPSON FERRY ROAD): >50 FT. (AT RIGHT-OF-WAY LINE)
9. MINIMUM REQUIRED SETBACKS: PRINCIPAL BUILDINGS & STRUCTURES: FRONT: 30 FT. SIDE: 10 FT. REAR: 35 FT.
10. MAXIMUM ALLOWABLE BUILDING HEIGHT: 75 FT. (PRINCIPAL BLDGS./STRUCTURES). PROPOSED BUILDING HEIGHT: 16 FT.±
11. MAXIMUM ALLOWABLE LOT COVERAGE: 70%. EXISTING LOT COVERAGE: 27% (350,964 S.F.±/1,286,613 S.F.) (PER PB. 201308296) PROPOSED LOT COVERAGE: 27% (351,133 S.F.±/1,286,613 S.F.)
12. PROJECT SITE IS NOT LOCATED WITHIN A MAPPED 100 YEAR FLOOD PLAIN BASED UPON A REVIEW OF THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWNSHIP OF LOWER ALLEN, COMMUNITY NUMBER 421016, PANEL 0277, SUFFIX E, MAP NUMBER 42041C0277E, EFFECTIVE DATE: SEPTEMBER 7, 2023.
13. SITE FEATURES AND TOPOGRAPHIC INFORMATION WITHIN THE PROJECT AREA IS BASED ON A MAPPING FIRM SURVEY BY SITE DESIGN CONCEPTS, INC. CONDUCTED MARCH 2022. THE REMAINING AREA IS SHOWN BASED ON INFORMATION SUPPLEMENTED FROM PUBLICLY AVAILABLE AERIAL PHOTOGRAPHS AND LIDAR DATA OBTAINED FROM THE PENNSYLVANIA SPATIAL DATA ACCESS WEBSITE.
14. SITE PROPERTY LINE DEPICTED ON THIS PLAN WITHIN THE PROJECT AREA HAS BEEN TAKEN FROM A LIMITED FIELD SURVEY COMPLETED BY SITE DESIGN CONCEPTS, INC. IN MARCH 2022 ALONG THE PROPERTY LINE AS SHOWN ON THE PLAT. PERMIT INFORMATION PROVIDED THEREIN IS FROM A PREVIOUS PLAN PREPARED BY GOOD, LONG & ASSOCIATED ARCHITECTS AND ENGINEERS. THIS PLAN DOES NOT REPRESENT A FULL BOUNDARY SURVEY BY SITE DESIGN CONCEPTS, INC.
15. THIS PLAN IN NO WAY GUARANTEES, WARRANTS OR IMPLIES THAT THE PROPERTY IS NOT AFFECTED BY RIGHTS-OF-WAY, EASEMENTS, RESTRICTIONS, ETC. WHICH MAY BE DISCOVERED BY A COMPLETE "TITLE SEARCH".
16. THERE ARE NO KNOWN NOR PROPOSED DEED RESTRICTIONS OR COVENANTS ASSOCIATED WITH THE PROJECT SITE.
17. PARKING SCHEDULE:
EXISTING NUMBER OF PARKING SPACES: 281 (PER PARKING DEMAND STUDY, PREPARED BY TPD, DATED MAY 16, 2023)
REQUIRES ADA PARKING SPACES: 7
EXISTING ADA PARKING SPACES: 9
NO EXPANSION OF SERVICES OR INCREASE IN STUDENT NUMBERS WILL OCCUR AS A RESULT OF THIS IMPROVEMENT.
18. THE SITE IS LOCATED ENTIRELY WITHIN THE CEDAR RUN DRAINAGE BASIN (PA DEP REACH CODE: 0205030503307)
19. SITE BENCH MARK:
TOP NUT OF FIRE HYDRANT: ELEV.=422.65
VERTICAL ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM FROM 1988 (NAVD 88 DATUM) AND ESTABLISHED BY USING GPS TECHNOLOGY.
20. THE NATIONAL WETLANDS INVENTORY MAP DEPICTS NO EXISTING WETLAND AREAS ON THIS SITE.
21. PROPERTY OWNERS ARE REQUIRED TO MAINTAIN LOT GRADING AND SURFACE DRAINAGE PATTERNS AND CHARACTERISTICS IN ACCORDANCE WITH THE APPROVED PLAN.
22. A COPY OF THE APPROVED LAND DEVELOPMENT PLAN SHALL REMAIN ON SITE THROUGHOUT THE DURATION OF THE REGULATED ACTIVITY.
23. THE MUNICIPAL ENGINEER OR THEIR DESIGNEE SHALL BE PERMITTED TO INSPECT ALL PHASES OF THE PROPOSED CONSTRUCTION IN PROGRESS, TO ENSURE COMPLIANCE WITH EROSION AND SEDIMENT CONTROL REQUIREMENTS.
24. APPLICANT AND OWNER ACKNOWLEDGE THAT CERTAIN SITE IMPROVEMENTS DEPICTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTE TO THE BUILDING AND FREESTANDING SIGNS, THAT REQUIRE APPROVAL UNDER REGULATIONS CONTAINED IN THE PA UNIFORM CONSTRUCTION CODE AND/OR LOWER ALLEN TOWNSHIP ZONING CODE MUST BE INSTALLED IN ACCORDANCE WITH SEPARATE PERMIT APPROVALS GRANTED UNDER THOSE REGULATIONS.
25. PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF SOIL EROSION CONTROL MEASURES.
26. CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION SITE MEETING WITH THE TOWNSHIP ENGINEER AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.
27. SITE DISTURBANCE IS PERMITTED TO START ONLY IF AND WHEN SUFFICIENT TIME IS AVAILABLE TO STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PA DEP REQUIREMENTS AND WITH THE APPROVED PLAN.
28. ANTICIPATED CONSTRUCTION SCHEDULE:
COMMENCE WORK: JUNE 2024
COMPLETE WORK: AUGUST 2024
29. THE PARKING LOT DOES NOT MEET THE TOWNSHIP'S LANDSCAPING REQUIREMENTS AND IS CONSIDERED AN EXISTING NON-COM confor
30. ANY MODIFICATION TO EXISTING NON-COM confor must comply with the provisions of the LOWER ALLEN TOWNSHIP ZONING ORDINANCE ARTICLE XXI.
31. LAND OWNER:
TRINITY HIGH SCHOOL
3601 SIMPSON FERRY ROAD
CAMP HILL, PA 17011
PROPERTY ADDRESS:
3601 SIMPSON FERRY ROAD
CAMP HILL, PA 17011



SITE DESIGN CONCEPTS, INC. HAS MET THE OBLIGATIONS OF PA ACT 121 OF THE PENNSYLVANIA GENERAL ASSEMBLY IN REGARD TO THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHOULD CONTACT THE PA ONE CALL SYSTEM AT 1-800-242-1775 FOR AN UP-TO-DATE LOCATION AS REQUIRED BY THE PA ACT 121, AS PER THE LATEST AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 09, 2006.

DESIGN SERIAL NUMBER 20230552290 (LOWER ALLEN TOWNSHIP)

PENNSYLVANIA AMERICAN WATER

652 WESLEY DRIVE
MECHANICSBURG, PA 17055
CONTACT: JEFF HORTON
EMAIL: JEFF.HORTON@AMWATER.COM

VERNON PENNSYLVANIA LLC
1024 14TH STREET
PITTSBURGH, PA 15221
CONTACT: DEBORAH BARUM
EMAIL: DEBORAH.D.BARUM@VERNON.COM

LOWER ALLEN TWP AUTHORITY
120 LIMKLN RD
NEW CUMBERLAND, PA 17027
CONTACT: BRYCE THOPSON
EMAIL: BKAUFMAN@LATWP.ORG

LOWER ALLEN TOWNSHIP
2233 GETTYSBURG ROAD
CAMP HILL, PA 17011
CONTACT: BRYCE THOPSON
EMAIL: BTHOPSON@LATWP.ORG

COMCAST
4601 SMITH STREET
HARRISBURG, PA 17109
CONTACT: BRYCE KARLSON
EMAIL: BRYCE.KARLSON@COMCAST.NET

UGI UTILITIES INC
1301 AIR DRIVE
MIDDLETON, PA 17057
CONTACT: STEPHEN BATEMAN
EMAIL: SBATEMAN@UGI.COM

METROPOLITAN EDISON CO/FIRSTENERGY

21 SOUTH MAIN STREET
AKRON, OH 44308
CONTACT: TICKET SCREENING PERSONNEL
EMAIL: TICKET_SCREENING@FIRSTENERGYCORP.COM

PPL ELECTRIC UTILITIES CORPORATION
437 EAST MARKET ROAD
PAKISTAN, PA 17860
CONTACT: DOUG HAUPPT
EMAIL: DLHAUPPT@PPLWEB.COM

CIVIL ENGINEERING
127 WEST MARKET STREET, SUITE 200 • YORK, PA 17401
t: 717.737.9414 • f: 717.840.8305 • www.sitedc.com
LAND DEVELOPMENT CONSULTANTS
Landscape Architecture • Land Planning • Environmental Consulting



WAIVER REQUESTS

THE FOLLOWING WAIVER(S) FROM THE LOWER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, HAVE BEEN REQUESTED AND APPROVED BY THE LOWER ALLEN TOWNSHIP BOARD OF COMMISSIONERS AT A MEETING HELD ON:

- SECTION: 192-30.A.1: WHICH REQUIRES THE SUBMISSION OF A PRELIMINARY PLAN MODIFICATION IS REQUESTED TO SUBMIT A COMBINED PRELIMINARY/FINAL LAND DEVELOPMENT PLAN SHOWING REQUIREMENTS OF BOTH A PRELIMINARY AND FINAL PLAN IN ONE SET.
- SECTION: 192-57.B.2.c: WHICH REQUIRES ADDITIONAL RIGHT-OF-WAY AND CARTWAY WIDENING.

THE PROJECT PROPOSES A BAND ROOM ADDITION TO SERVE THE EXISTING STUDENTS. NO EVENTS OR ADDITIONAL STUDENT SERVICES ARE ANTICIPATED THAT WOULD INCREASE TRAFFIC VOLUMES TO WARRANT CARTWAY WIDENING OR ADDITIONAL RIGHT-OF-WAY.

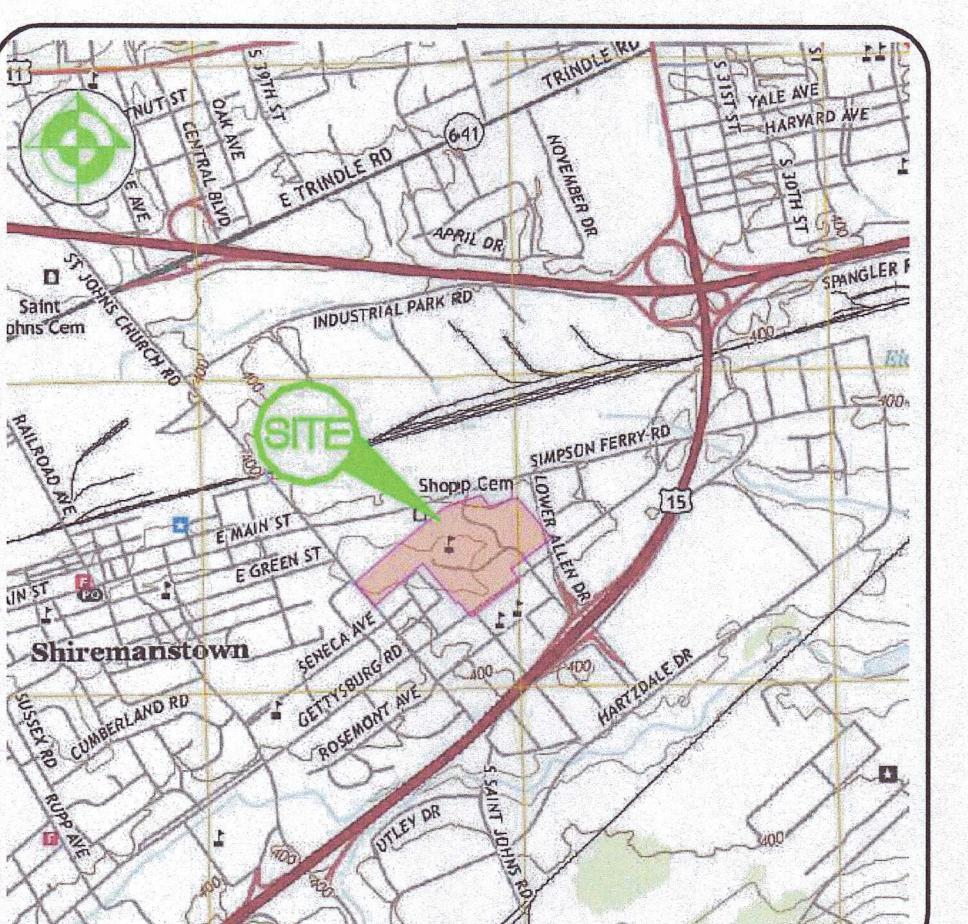
- SECTION: 192-57.C.9: WHICH REQUIRES SIDEWALKS TO BE ADDED ALONG ALL OF THE STREET FRONTRAGES.

WAIVER IS REQUESTED TO NOT INSTALL SIDEWALKS ALONG SIMPSON FERRY ROAD AND SAINT JOHNS CHURCH ROAD.

- SECTION 192-58.C: WHICH REQUIRES STREET TREES BE PROVIDED ALONG STREET FRONTRAGE(S).

WAVER IS REQUESTED TO NOT INSTALL STREET TREES ALONG LOWER ALLEN DRIVE, DUE TO CONFLICTS WITH SIDEWALKS AND UTILITIES, AS WELL AS IN THE RIGHT-OF-WAY OF SIMPSON FERRY ROAD. THE REQUIRED NUMBER OF TREES ARE PRESENT WITHIN THE FRONT YARD, BUT NOT LOCATED WITHIN THE RIGHT-OF-WAY.

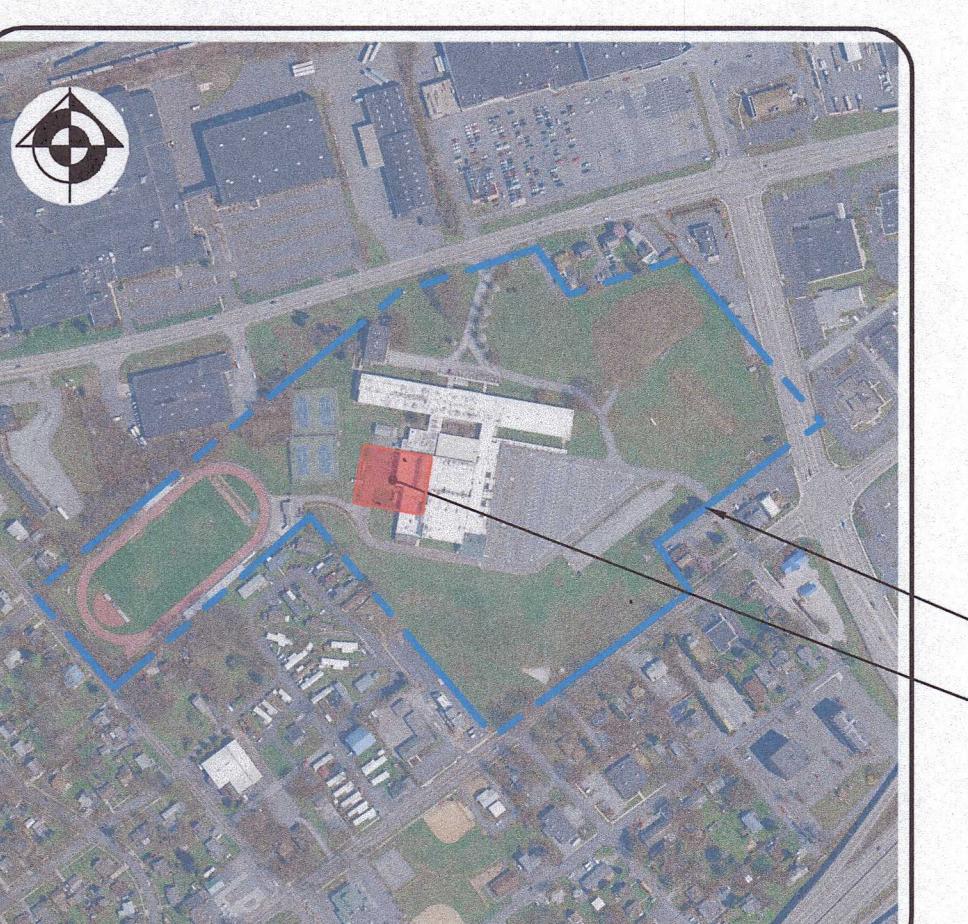
UNIFORM PARCEL IDENTIFIER		
LOT NO.	STREET ADDRESS	UPI
1	3601 SIMPSON FERRY ROAD	13-23-0553-013EX



LOCATION MAP

SCALE: 1' = 2,000'

COPYRIGHT BY: ADC THE MAP PEOPLE (PERMITTED USE NUMBER BJE080722)



CAMPUS MAP

SCALE: 1' = 500'

RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE CUMBERLAND COUNTY COURTHOUSE
RECORDED THIS 20th DAY OF May, 2024
INSTRUMENT NO. 202410410000

FINAL LAND DEVELOPMENT PLAN SHEET INDEX

DRAWING SHEET NO.	DRAWING TITLE
C-1	TITLE SHEET
C-2	MASTER OVERALL EXISTING SITE CONDITIONS PLAN
C-3	ENLARGED EXISTING CONDITIONS AND SITE GRADING PLAN
C-4	SITE LIGHTING PLAN AND DETAILS

CUMBERLAND COUNTY PLANNING DEPARTMENT

REVIEWED THIS 20th DAY OF March, 2024 BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT.

Kirk Slavens (S)
KIRK SLAVENS
DIRECTOR OF PLANNING

LOWER ALLEN TOWNSHIP PLANNING COMMISSION REVIEW

AT A MEETING ON 20th, 2024, THE LOWER ALLEN TOWNSHIP PLANNING COMMISSION RECOMMENDED APPROVAL OF THIS PLAN.

LOWER ALLEN TOWNSHIP ENGINEER REVIEW

ON THIS DATE April 1, 2024 HAS REVIEWED THE SWM SITE PLAN AND FINDS IT TO BE CONSISTENT WITH THE DESIGN STANDARDS AND CRITERIA OF THE LOWER ALLEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

LOWER ALLEN TOWNSHIP BOARD OF COMMISSIONERS

APPROVED BY THE BOARD OF COMMISSIONERS, LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA.
APPROVED THIS 13th DAY OF May, 2024
CONDITIONS OF APPROVAL COMPLETED THIS 13th DAY OF May, 2024

Douglas W. Villone *Thomas B. Verma, Jr.*
D. W. VILLONE, PRESIDENT THOMAS B. VERMA, JR., SECRETARY

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION

(OWNER - UPI-13-23-0553-013EX)
FORM OF AFFIDAVIT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF Dauphin
ON THIS THE 29th DAY OF April, 2024, BEFORE ME,
APPEARED *Semonthy C. Seneviratne*, BEING BISHOP
OF Diocese of Harrisburg, TO ME KNOWN OR PROVEN, BEING DULY
SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE ENTITY IS THE
OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN
THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE
THE ENTITY'S ACT AND PLAN, THAT THE ENTITY DESIRES THE SAME TO BE RECORDED AND
THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY
(EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE
PUBLIC USE.

THE ROMAN CATHOLIC DIOCESE OF
HARRISBURG (TRINITY HIGH SCHOOL)
3601 SIMPSON FERRY ROAD
CAMP HILL, PA 17011

OFFICER SIGNATURE
Timothy C. Seneviratne

OFFICER PRINTED NAME
Timothy C. Seneviratne

TITLE
Bishop

DATE
02.20.24

FILE NAME
1530.1 LD-1

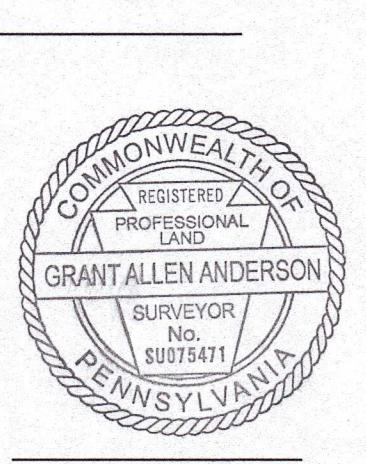
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1530.1

NOTARY STAMP SEAL

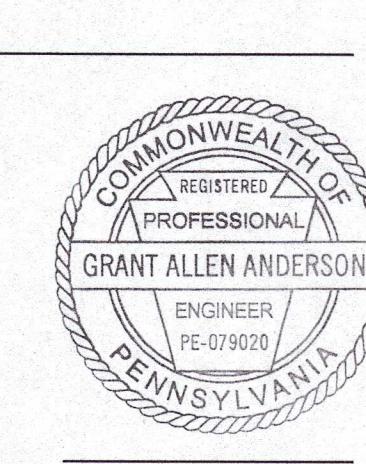
Sheet No.
C-1

REV.
1

I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE LOWER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE OF LOWER ALLEN TOWNSHIP FOR THIS PLAN.



Grant Allen Anderson
GRANT ALLEN ANDERSON, P.L.S.
REGISTRATION NO. SU 075471
(AGENT FOR SITE DESIGN CONCEPTS, INC.)
April 3, 2024
DATE
SEAL



Grant Allen Anderson
GRANT ALLEN ANDERSON, P.E.
REGISTRATION NO. PE 079020
(AGENT FOR SITE DESIGN CONCEPTS, INC.)
April 3, 2024
DATE
SEAL

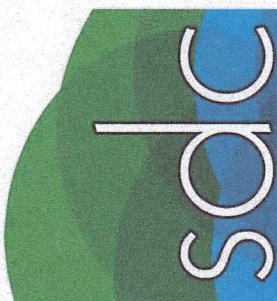
NOTES

1. SITE CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES LOCATIONS, DEPTHS AND CROSSINGS WITH PROPOSED UTILITIES AND OTHER SITE IMPROVEMENTS PRIOR TO INSTALLATION. THE SITE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON ANY CONFLICTS.
2. LIMITS OF EARTH DISTURBANCE SHALL BE KEPT LESS THAN 0.991 ACRE (43,168 S.F.). IF GREATER THAN 0.991 ACRE IS DISTURBED, THE CONTRACTOR SHALL VOLUNTARILY STOP WORK AND APPLY TO THE CUMBERLAND COUNTY CONSERVATION DISTRICT FOR A NPDES PERMIT.



site design concepts

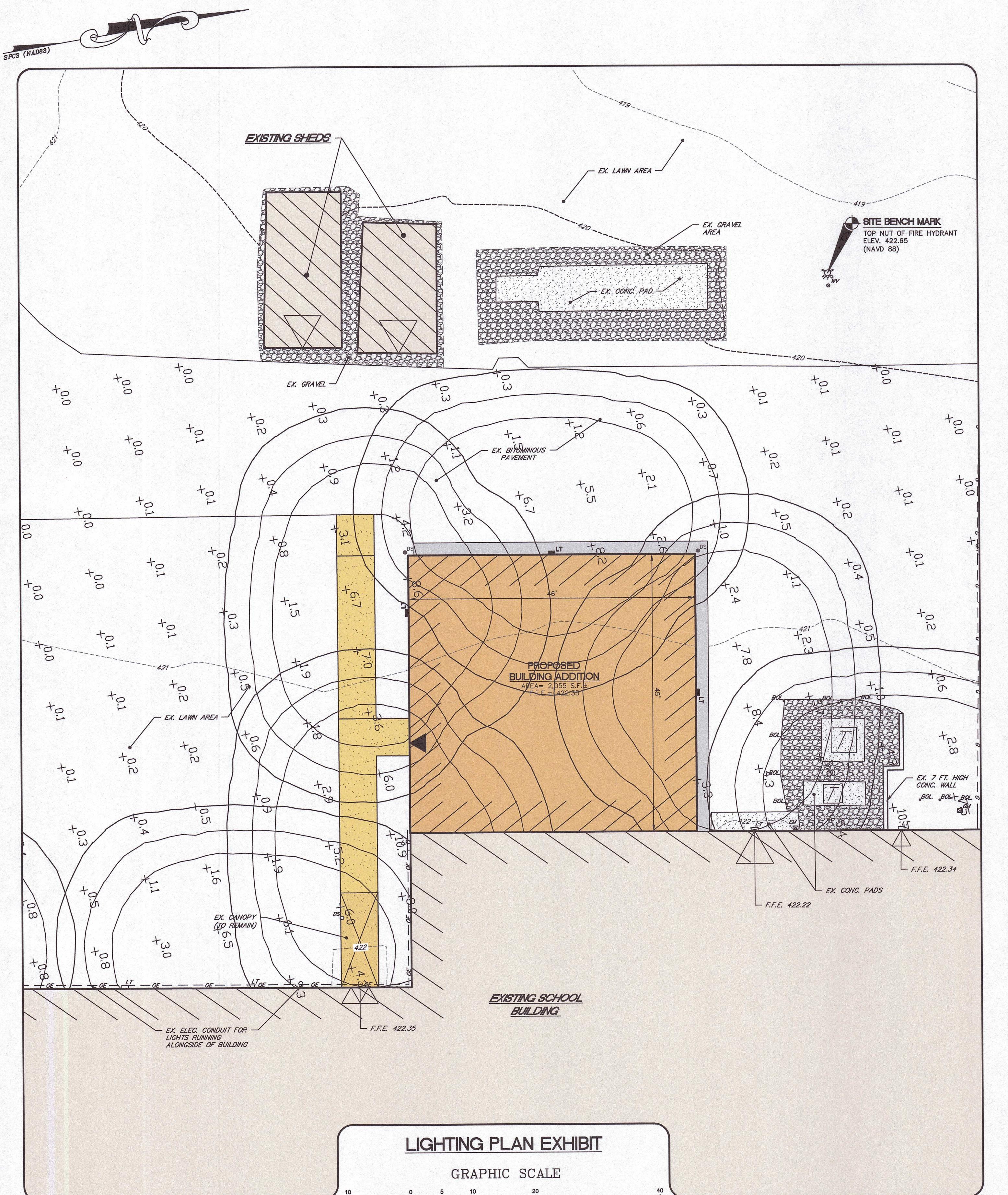
LAND DEVELOPMENT CONSULTANTS



MASTER OVERALL EXISTING SITE CONDITIONS PLAN

PROPOSED BAND ROOM ADDITION
FOR
TRINITY HIGH SCHOOL
3601 SIMPSON FERRY ROAD
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

SCALE	AS NOTED
DRAWN BY	RMH
CHECKED BY	GAA
CONTACT	GAA
DATE	02.20.24
FILE NAME	1530.1 LD-1
JOB NO.	1530.1
SHEET NO.	REV.
C-2	1



GENERAL NOTES

- ALL BUILDING MATERIALS AND WASTE MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE PA DEP'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET. SEQ., SECTION 271.1, AND 271.1.1. ALL BUILDING MATERIAL, DEBRIS OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AS PERMITTED.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURES DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLANS DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- ANY SHALLOW SEASONALLY HIGH WATER TABLE ENCOUNTERED DURING EXCAVATION ACTIVITIES (UTILITIES) SHALL BE PUMPED THROUGH A FILTER BAG AS AN EROSION CONTROL BEST MANAGEMENT PRACTICE.

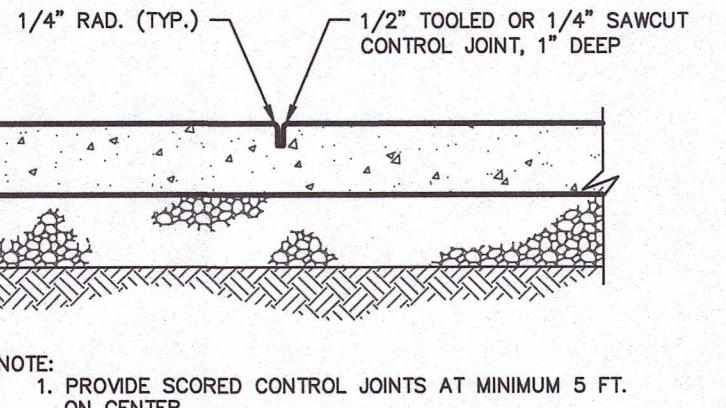
PERMANENT SEEDING AND MULCHING SPECIFICATIONS AND NOTES

PERMANENT GRASS OR LEGUME COVER.

- ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED SHALL BE COVERED WITH GRASS OR A LEGUME IN ORDER TO MINIMIZE EROSION, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- MULCHING SHALL BE USED TO PROTECT SEEDING AND TO REDUCE RUNOFF. STRAW MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 3 TONS/ACRE.
- THE BELOW PERMANENT SEEDING MIXTURES ARE FROM THE PENN STATE AGRONOMY GUIDE. THE SEED MIXTURES SHALL CONSIST OF:

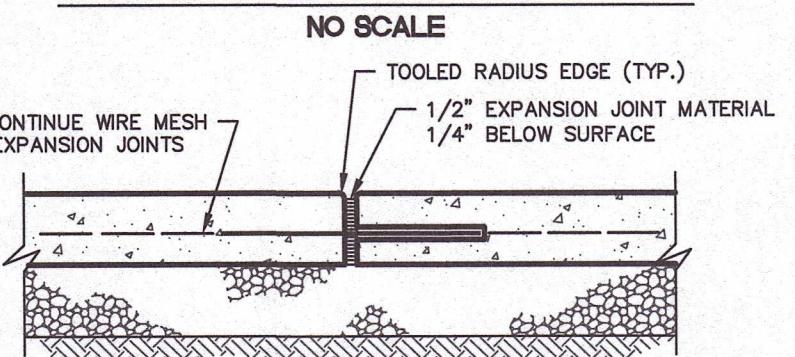
SEED TYPE	% BY WT.	SEEDING RATE	SEEDING DATES
LAWNTIME (USED THROUGHOUT SITE)	50%	4 LBS./1,000 S.F.	MARCH 15 TO JUNE 1
KY. BLUEGRASS	30%		AUGUST 1 TO OCTOBER 15
CREEP RED FESCUE	5%		
PERENNIAL RYEGRASS	15%		

- D. IN THE ABSENCE OF SOIL TEST RESULTS, FERTILIZER OF 10-20-20 AT AN APPLICATION RATE OF 1,000 LB./ACRE SHALL BE APPLIED WITH THE PERMANENT SEEDING.
- E. IN THE ABSENCE OF SOIL TEST RESULTS, LIME AT AN APPLICATION RATE OF 6 TONS/ACRE OF AGRICULTURAL GRADE LIME SHALL BE APPLIED WITH THE PERMANENT SEEDING.
- F. STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN. A TRACTOR-DRAWN IMPLANT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL - ABOUT 3 INCHES. THE METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.



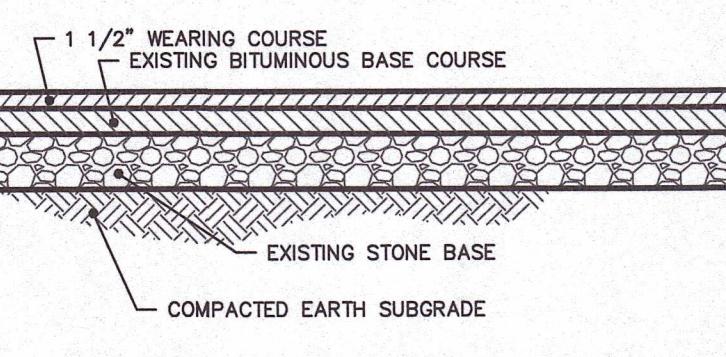
NOTE: 1. PROVIDE SCORED CONTROL JOINTS AT MINIMUM 5 FT. ON CENTER.

TYPICAL CONCRETE SIDEWALK CONTROL JOINT DETAIL



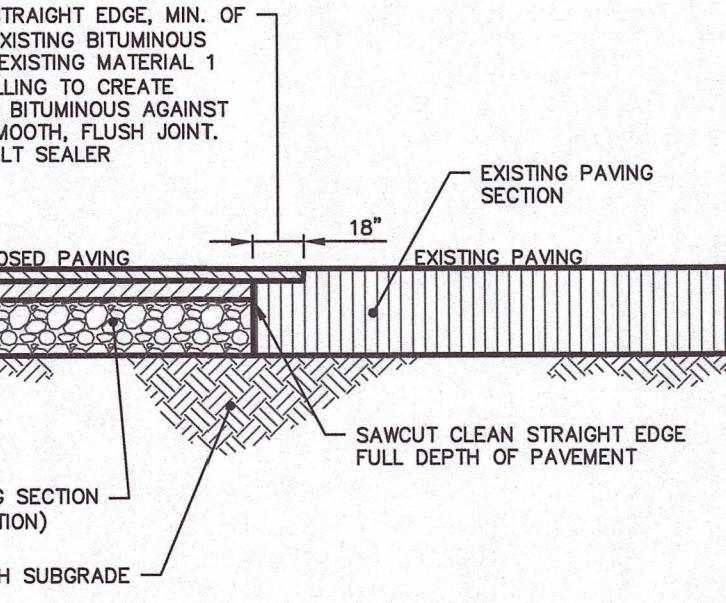
NOTES: 1. PROVIDE EXPANSION JOINTS AT MINIMUM 20' ON CENTER, OR AS SPECIFIED OTHERWISE ON THE PLANS/DETAILS.
2. NO. 4 REBAR SPACED AT 24" ON CENTER (MAXIMUM) - ONE END TO BE RENDERED BONDLESS.

TYPICAL CONCRETE EXPANSION JOINT DETAIL



NOTE: 1. IF SATURATED SUBGRADE CONDITIONS ARE ENCOUNTERED, CONTRACTOR SHOULD NOTIFY ENGINEER IMMEDIATELY.

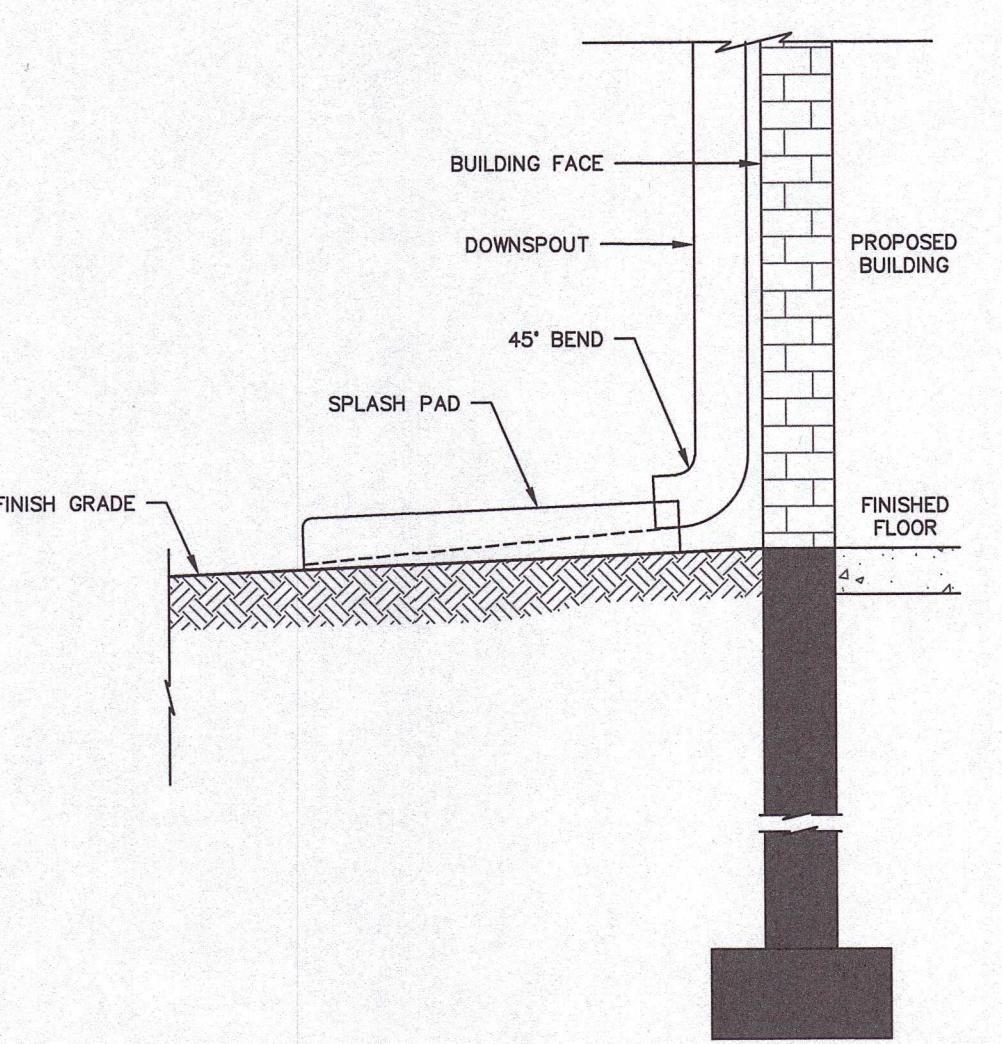
BITUMINOUS PAVING SECTION



NOTES: 1. PROVIDE PROPOSED PAVING NOTCH AT ALL LOCATIONS ALONG CONNECTION OF PROPOSED BITUMINOUS PAVING WITH EXISTING PAVING.
2. CONTRACTOR TO VERIFY THAT SUFFICIENT PAVEMENT DEPTH OF EXISTING ASPHALT UNDERLINES BITUMINOUS OVERLAP.

PROPOSED BITUMINOUS PAVING SAWCUT AND MILLING AT JOINT WITH EXISTING PAVING

NO SCALE

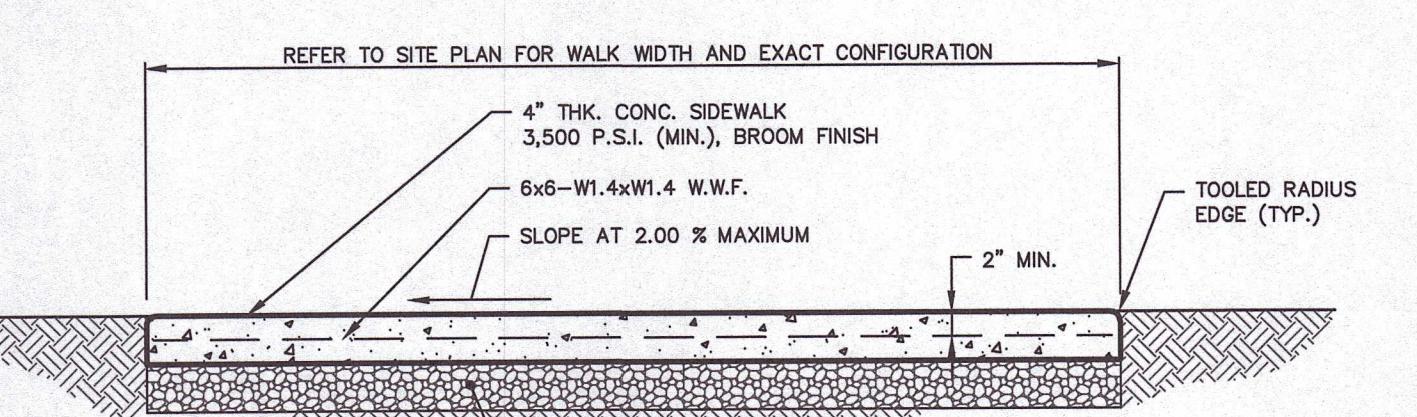


NOTES:

- Maintain gravel/paved areas at downspouts and splash pads in stable conditions. Repair any erosion or washouts immediately.
- If building downspout locations are not shown on the site plans, contractor shall determine the locations based upon the architectural plans and verify the final pipe sizes and connection points with the site engineer prior to beginning construction.

TYPICAL DOWNSPOUT AND SPLASH PAD DETAIL

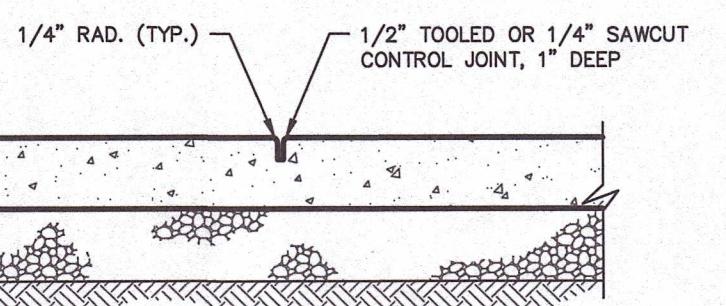
NO SCALE



NOTES: 1. PROVIDE EXPANSION JOINTS AT MINIMUM 20 FT. CENTER TO CENTER.
2. PROVIDE SCORED CONTROL JOINTS AT MINIMUM 5 FT. CENTER TO CENTER.
3. ALL CONCRETE IS TO MEET ACI-318 CONSTRUCTION STANDARDS.
4. PROVIDE TOOLED RADIUS EDGES ON ALL EXPOSED EDGES/CORNERS.

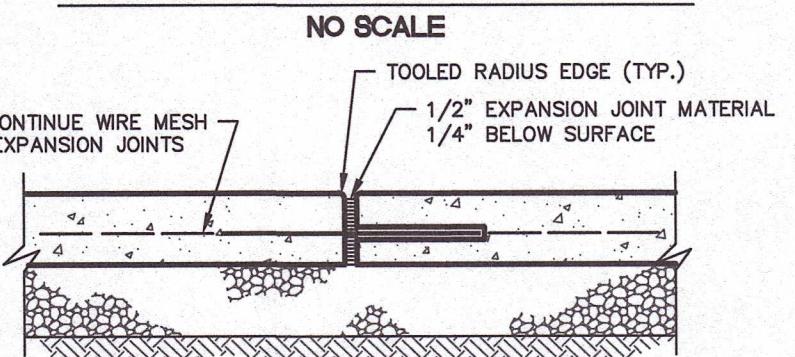
TYPICAL CONCRETE SIDEWALK DETAIL

NO SCALE



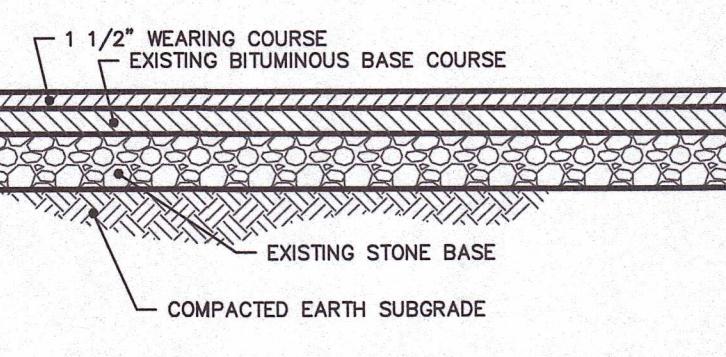
NOTE: 1. PROVIDE SCORED CONTROL JOINTS AT MINIMUM 5 FT. ON CENTER.

TYPICAL CONCRETE SIDEWALK CONTROL JOINT DETAIL



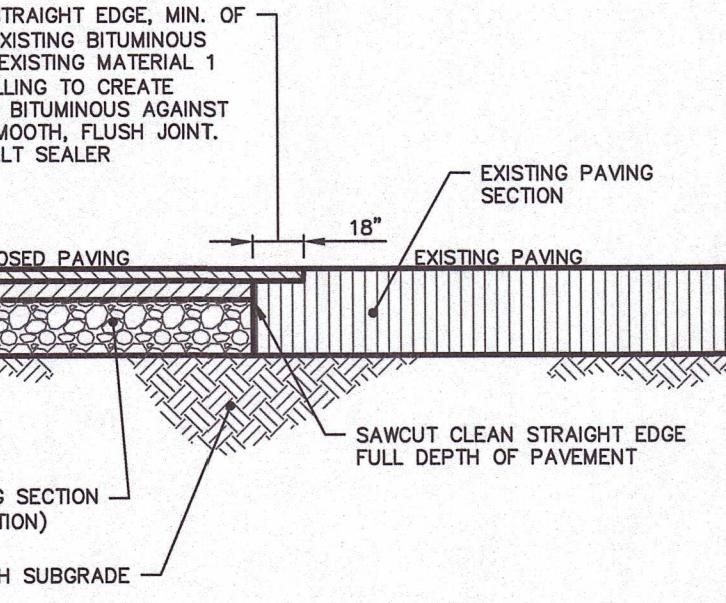
NOTES: 1. PROVIDE EXPANSION JOINTS AT MINIMUM 20' ON CENTER, OR AS SPECIFIED OTHERWISE ON THE PLANS/DETAILS.
2. NO. 4 REBAR SPACED AT 24" ON CENTER (MAXIMUM) - ONE END TO BE RENDERED BONDLESS.

TYPICAL CONCRETE EXPANSION JOINT DETAIL



NOTE: 1. IF SATURATED SUBGRADE CONDITIONS ARE ENCOUNTERED, CONTRACTOR SHOULD NOTIFY ENGINEER IMMEDIATELY.

BITUMINOUS PAVING SECTION



NOTES: 1. PROVIDE PROPOSED PAVING NOTCH AT ALL LOCATIONS ALONG CONNECTION OF PROPOSED BITUMINOUS PAVING WITH EXISTING PAVING.
2. CONTRACTOR TO VERIFY THAT SUFFICIENT PAVEMENT DEPTH OF EXISTING ASPHALT UNDERLINES BITUMINOUS OVERLAP.

PROPOSED BITUMINOUS PAVING SAWCUT AND MILLING AT JOINT WITH EXISTING PAVING

NO SCALE

SEQUENCE OF CONSTRUCTION

- PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES THAT TRAVERSE THE PROJECT AREA. ANY CONFLICTS WITH PROPOSED IMPROVEMENTS OR GRADING SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE SITE ENGINEER AND OWNER.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED. AND THE STAGE ELEVATION, GRADE, AND TOPS OF SLOPES WILL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. ANY DEVIATION FROM THE FOLLOWING SEQUENCE MUST BE APPROVED IN WRITING FROM THE PROJECT ENGINEER.
- EXISTING PAVEMENT AREAS SHALL BE SWEEP AT THE END OF EACH WORKING DAY TO PREVENT DIRTY RUNOFF FROM LEAVING THE PROJECT SITE.
- THIS PROJECT IS LOCATED IN THE CHESAPEAKE BAY WATERSHED. ALL EROSION AND SEDIMENTATION CONTROL BMP'S FOR THIS PROJECT SHALL INCLUDE ADDITIONS TO MEET ABACI CREDIT AS NOTED IN THE DETAILS.
- CLEARLY MARK THE LOCATIONS OF THE LIMITS OF EARTH DISTURBANCE AS SHOWN ON THE PLAN.
- BEGIN DEMOLITION OF ANY FEATURES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS. ALL MATERIALS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET. SEQ., 271.1, AND 287.1 ET. SEQ. NO WASTE SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- RELOCATE ANY UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS. ONLY EXCAVATE THE LENGTH OF TRENCH THAT CAN BE BACKFILLED IN ONE WORKING DAY. IMMEDIATELY STABILIZE WITH STONE BACKFILL AND/OR BITUMINOUS PAVEMENT.
- COMMENCE CONSTRUCTION OF THE BUILDING ADDITION. IMMEDIATELY STABILIZE ALL AREAS WITH SLOPES GREATER THAN 3:1 WITH SLOPE STABILIZATION MATTING, REFER TO DETAIL.
- BEGIN CONSTRUCTION OF THE CONCRETE SIDEWALK AS CONSTRUCTION OPERATIONS ALLOW.
- FINAL GRADE SITE PER CONTOURS AND SPOT ELEVATIONS SHOWN ON THE PLAN AND IMMEDIATELY SEED AND MULCH ALL DISTURBED AREAS PER THE PERMANENT SEEDING AND MULCHING SPECIFICATIONS.
- INSTALL BITUMINOUS BINDER COURSE AND WEARING COURSE IN PROPOSED PAVED AREAS AS SHOWN ON THE PLAN.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS (I.E. MINIMUM, UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE EROSION CHARACTERISTICS TO RESIST SLIDING AND OTHER MOVEMENTS), THE OWNER AND/OR OPERATOR SHALL CONTACT THE PROJECT ENGINEER FOR AN INSPECTION PRIOR TO THE REMOVAL/CONVERSION OF THE E&S BMP'S.
- UPON APPROVAL BY THE PROJECT ENGINEER, ALL REMAINING TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AND IMMEDIATELY STABILIZED IN THE Affected AREAS.
- REMOVE ANY OTHER REMAINING TEMPORARY SOIL EROSION BMP AND STABILIZE ANY REMAINING DISTURBED AREAS.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES, REMOVAL OF ALL TEMPORARY BMP'S, AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OPERATORS SHALL CONTACT THE PROJECT ENGINEER FOR A FINAL INSPECTION.

SCHEDULE NOTE:
THE ORDER OF THE ABOVE SCHEDULE IS SUBJECT TO CHANGE DUE TO SITE SPECIFIC CONDITIONS AND CONSTRUCTION METHODS. ANY CHANGES SHOULD BE MADE UNDER THE DIRECTION OF A REPRESENTATIVE OF CUMBERLAND COUNTY CONSERVATION DISTRICT AND PROJECT ENGINEER.

SCALE	AS NOTED
DRAWN BY	RMH
CHECKED BY	GAA
CONTACT	GAA
DATE	02.20.24
FILE NAME	1530.1 LD-1
JOB NO.	1530.1
HEET NO.	C-4
REV.	1

PROJECT	PROPOSED BAND ROOM ADDITION
FOR	TRINITY HIGH SCHOOL
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA	

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