

# PRELIMINARY / FINAL LAND DEVELOPMENT PLAN PROPOSED BAND ROOM ADDITION

FOR

## TRINITY HIGH SCHOOL

### 3601 SIMPSON FERRY ROAD LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

#### GENERAL NOTES

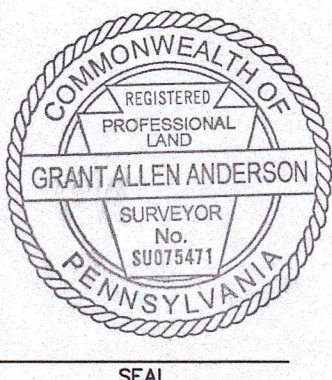
- THE PURPOSE OF THIS FINAL LAND DEVELOPMENT PLAN IS TO DEPICT A PROPOSED BUILDING EXPANSION FOR TRINITY HIGH SCHOOL.
- PARCEL INFORMATION:  
UNIFORM PARCEL IDENTIFIER: 13-23-0553-013EX  
DEED REFERENCE: DEED/RECORD BOOK 20-K-912  
PLAN REFERENCE: PLAN/RECORD BOOK 20108296
- EXISTING LAND TRACT IS ZONED: C-4, REGIONAL COMMERCIAL
- ADJACENT LAND TRACTS ARE ZONED:  
NORTH: C-4, REGIONAL COMMERCIAL  
SOUTH: MUN. MIXED USED NEIGHBORHOOD  
EAST: C-4, REGIONAL COMMERCIAL  
WEST: C-4, REGIONAL COMMERCIAL / MUN. MIXED USE NEIGHBORHOOD / R1, SINGLE FAMILY ESTABLISHED RESIDENTIAL
- EXISTING LAND TRACT(S) USE: EDUCATIONAL SERVICES  
PROPOSED LAND TRACT(S) USE: EDUCATIONAL SERVICES
- EXISTING LOT(S) ARE SERVED BY AN EXISTING PUBLIC WATER SUPPLY AND AN EXISTING PUBLIC SANITARY SEWAGE DISPOSAL SYSTEM PROVIDED BY LOWER ALLEN TOWNSHIP.
- MINIMUM REQUIRED LOT AREA: NONE  
EXISTING LOT AREA: 1,286,613 S.F.± (29.54 AC.±) GROSS (PER PB. 201308296)
- MINIMUM REQUIRED LOT WIDTH: 50 FT. (AT RIGHT-OF-WAY LINE)  
EXISTING LOT WIDTH (ALONG GETTYSBURG ROAD): >50 FT. (AT RIGHT-OF-WAY LINE)  
(ALONG SIMPSON FERRY ROAD): >50 FT. (AT RIGHT-OF-WAY LINE)
- MINIMUM REQUIRED SETBACKS:  
PRINCIPAL BUILDINGS & STRUCTURES:  
FRONT: 30 FT.  
SIDE: 10 FT.  
REAR: 35 FT.
- MAXIMUM ALLOWABLE BUILDING HEIGHT: 75 FT. (PRINCIPAL BLDGS./STRUCTURES).  
PROPOSED BUILDING HEIGHT: 16 FT.±
- MAXIMUM ALLOWABLE LOT COVERAGE: 70%  
EXISTING LOT COVERAGE: 27% (350,964 S.F.±/1,286,613 S.F.) (PER PB. 201308296)  
PROPOSED LOT COVERAGE: 27% (351,133 S.F.±/1,286,613 S.F.)
- PROJECT SITE IS NOT LOCATED WITHIN A MAPPED 100 YEAR FLOOD PLAIN BASED UPON A REVIEW OF THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWNSHIP OF LOWER ALLEN, COMMUNITY NUMBER 421016, PANEL 0277, SUFFIX E, MAP NUMBER 4204102272, EFFECTIVE DATE: SEPTEMBER 7, 2023.
- EXISTING SITE FEATURES AND TOPOGRAPHIC INFORMATION WITHIN THE PROJECT AREA IS BASED ON AN ACTUAL FIELD SURVEY BY SITE DESIGN CONCEPTS, INC. COMPLETED IN MARCH 2022. THE REMAINING AREA IS SHOWN BASED ON INFORMATION SUPPLEMENTED FROM PUBLICLY AVAILABLE AERIAL PHOTOGRAPHS AND LIDAR DATA OBTAINED FROM THE PENNSYLVANIA SPATIAL DATA ACCESS WEBSITE.
- SITE PROPERTY LINE DEPICTED ON THIS PLAN WITHIN THE PROJECT AREA HAS BEEN TAKEN FROM A LIMITED FIELD SURVEY COMPLETED BY SITE DESIGN CONCEPTS, INC. IN MARCH 2022 ALONG WITH DEEDS AND PLANS OF RECORD. OVERALL PERIMETER INFORMATION, SHOWN HEREIN IS FROM A PREVIOUS PLAN PREPARED BY GOOD, LONG, AND ASSOCIATED, ARCHITECTS AND ENGINEERS. THIS PLAN DOES NOT REPRESENT A FULL BOUNDARY SURVEY BY SITE DESIGN CONCEPTS, INC.
- THIS PLAN IN NO WAY GUARANTEES, WARRANTS OR IMPLIES THAT THE PROPERTY IS NOT AFFECTED BY RIGHTS-OF-WAY, EASEMENTS, RESTRICTIONS ETC. WHICH MAY BE DISCOVERED BY A COMPLETE "TITLE SEARCH".
- THERE ARE NO KNOWN NOR PROPOSED DEED RESTRICTIONS OR COVENANTS ASSOCIATED WITH THE PROJECT SITE.
- PARKING SCHEDULE:  
EXISTING NUMBER OF PARKING SPACES: 281 (PER PARKING DEMAND STUDY, PREPARED BY TPD, DATED MAY 16, 2023)  
REQUIRED ADA PARKING SPACES: 7  
EXISTING ADA PARKING SPACES: 9  
NO EXPANSION OF SERVICES OR INCREASE IN STUDENT NUMBERS WILL OCCUR AS A RESULT OF THIS IMPROVEMENT
- THE SITE IS LOCATED ENTIRELY WITHIN THE CEDAR RUN DRAINAGE BASIN (PA DEP REACH CODE: 02050305003307)
- SITE BENCH MARK:  
TOP NUT OF FIRE HYDRANT: ELEV.=422.65  
VERTICAL ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM FROM 1988 (NAVD 88 DATUM) AND ESTABLISHED BY USING GPS TECHNOLOGY.
- THE NATIONAL WETLANDS INVENTORY MAP DEPICTS NO EXISTING WETLAND AREAS ON THIS SITE.
- PROPERTY OWNERS ARE REQUIRED TO MAINTAIN LOT GRADING AND SURFACE DRAINAGE PATTERNS AND CHARACTERISTICS IN ACCORDANCE WITH THE APPROVED PLAN.
- A COPY OF THE APPROVED LAND DEVELOPMENT PLAN SHALL REMAIN ON SITE THROUGHOUT THE DURATION OF THE REGULATED ACTIVITY.
- THE MUNICIPAL ENGINEER OR THEIR DESIGNEE SHALL BE PERMITTED TO INSPECT ALL PHASES OF THE SITE DEVELOPMENT WORK IN PROGRESS, TO ENSURE COMPLIANCE WITH EROSION AND SEDIMENT CONTROL REQUIREMENTS.
- APPLICANT AND OWNER ACKNOWLEDGE THAT CERTAIN SITE IMPROVEMENTS DEPICTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTE TO THE BUILDING AND FREESTANDING SIGNS, THAT REQUIRE APPROVAL UNDER REGULATIONS CONTAINED IN THE PA UNIFORM CONSTRUCTION CODE AND/OR LOWER ALLEN TOWNSHIP ZONING CODE MUST BE INSTALLED IN ACCORDANCE WITH SEPARATE PERMIT APPROVALS GRANTED UNDER THOSE REGULATIONS.
- PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF SOIL EROSION CONTROL MEASURES.
- CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION SITE MEETING WITH THE TOWNSHIP ENGINEER AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.
- SITE DISTURBANCE IS PERMITTED TO START ONLY IF AND WHEN SUFFICIENT TIME IS AVAILABLE TO STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PA DEP REQUIREMENTS AND WITH THE APPROVED PLAN.
- ANTICIPATED CONSTRUCTION SCHEDULE:  
COMMENCE WORK: JUNE 2024  
COMPLETE WORK: AUGUST 2024
- THE PARKING LOT DOES NOT MEET THE TOWNSHIP'S LANDSCAPING REQUIREMENTS AND IS CONSIDERED AN EXISTING NON-CONFORMITY.
- ANY MODIFICATIONS TO EXISTING NON-CONFORMITIES MUST COMPLY WITH THE PROVISIONS OF THE LOWER ALLEN TOWNSHIP ZONING ORDINANCE ARTICLE XXG.
- LAND OWNER:  
TRINITY HIGH SCHOOL  
3601 SIMPSON FERRY ROAD  
CAMP HILL, PA 17011  
PROPERTY ADDRESS:  
3601 SIMPSON FERRY ROAD  
CAMP HILL, PA 17011

#### LAND SURVEYOR

I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE LOWER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. COPYRIGHT BY AND FOR:

Grant Allen Anderson, P.L.S.  
REGISTRATION NO. SU 075471  
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

April 3, 2024



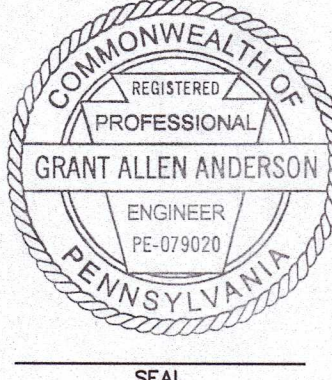
SEAL

#### PROJECT ENGINEER

I HEREBY STATE THAT, TO THE BEST OF MY KNOWLEDGE, THE PROPOSED PRELIMINARY/FINAL LAND DEVELOPMENT PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE LOWER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. COPYRIGHT BY AND FOR:

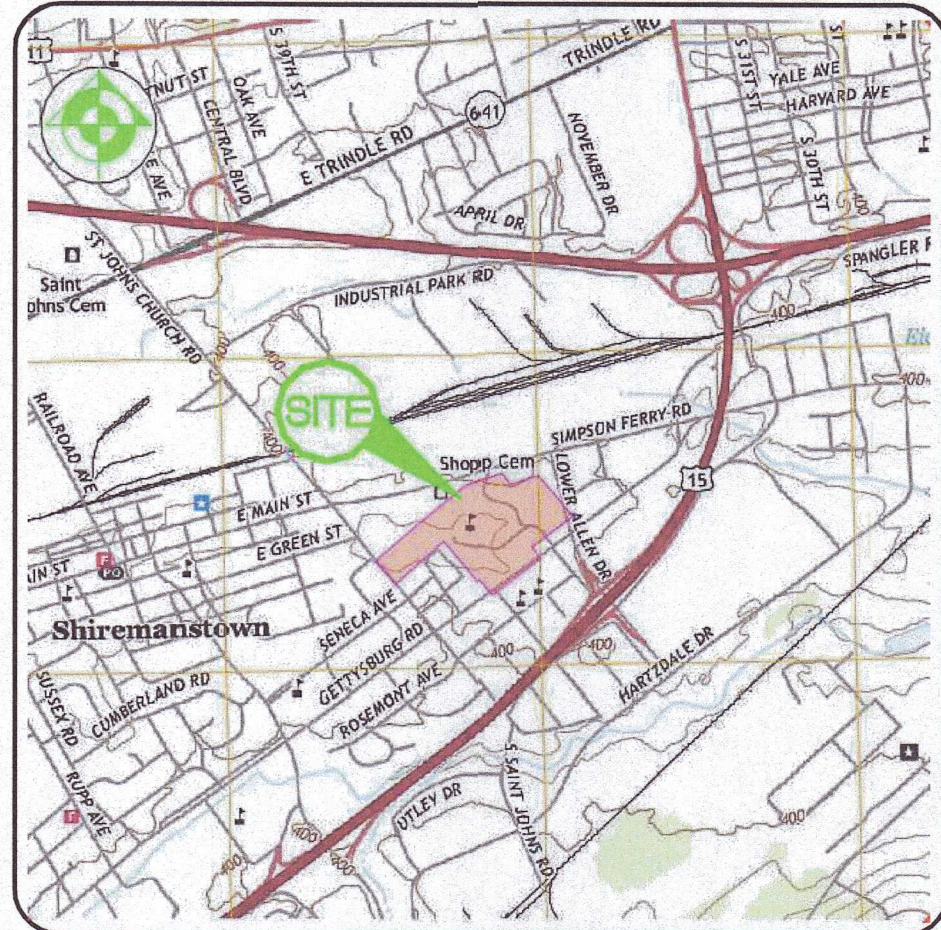
Grant Allen Anderson, P.E.  
REGISTRATION NO. PE 079020  
(AGENT FOR SITE DESIGN CONCEPTS, INC.)

April 3, 2024



SEAL

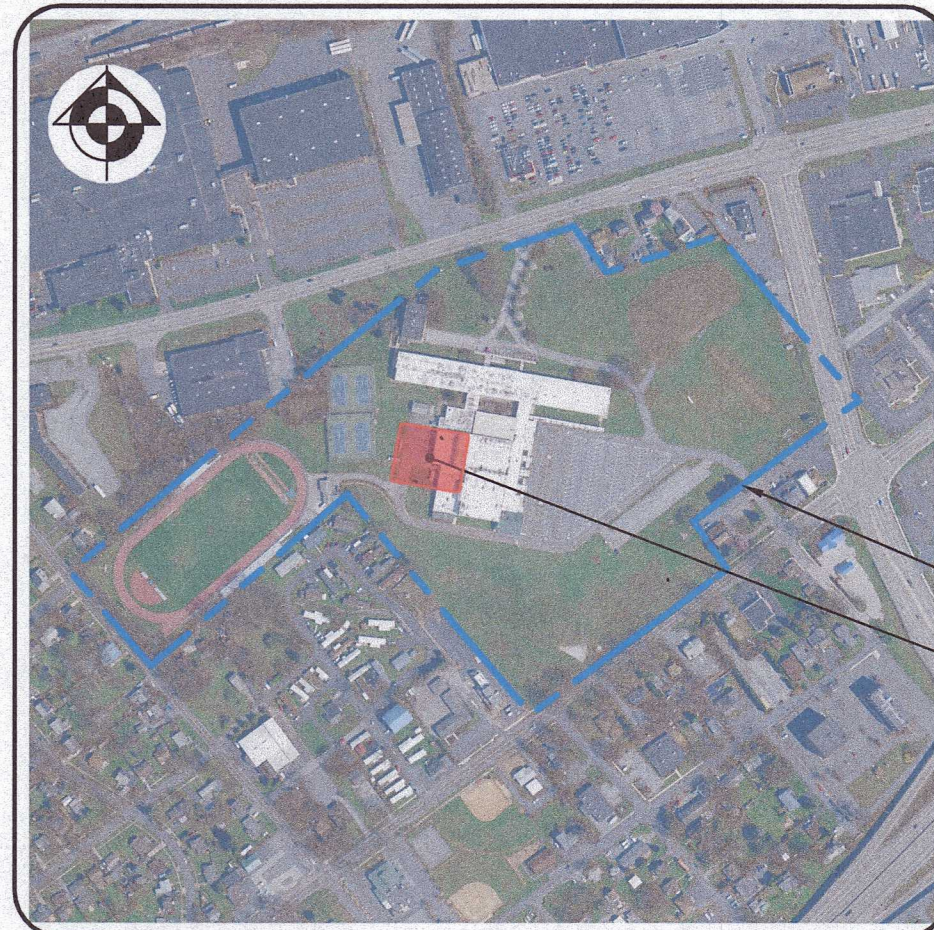
UNIFORM PARCEL IDENTIFIER		
LOT NO.	STREET ADDRESS	UPL
1	3601 SIMPSON FERRY ROAD	13-23-0553-013EX



LOCATION MAP

SCALE: 1" = 2,000'

COPYRIGHT BY: ADC THE MAP PEOPLE (PERMITTED USE NUMBER BJE080722)



CAMPUS MAP

SCALE: 1" = 500'

PROPERTY LINE (APPROX.)  
PROJECT AREA

#### WAIVER REQUESTS

THE FOLLOWING WAIVER(S) FROM THE LOWER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, HAVE BEEN REQUESTED AND APPROVED BY THE LOWER ALLEN TOWNSHIP BOARD OF COMMISSIONERS AT A MEETING HELD ON:

- SECTION: 192-30.A.1: WHICH REQUIRES THE SUBMISSION OF A PRELIMINARY PLAN MODIFICATION IS REQUESTED TO SUBMIT A COMBINED PRELIMINARY/FINAL LAND DEVELOPMENT PLAN SHOWING REQUIREMENTS OF BOTH A PRELIMINARY AND FINAL PLAN IN ONE SET.
- SECTION: 192-57.B.2.h.2: WHICH REQUIRES ADDITIONAL RIGHT-OF-WAY AND CARTWAY WIDENING.  
THE PROJECT PROPOSES A BAND ROOM ADDITION TO SERVE THE EXISTING STUDENTS. NO EVENTS OR ADDITIONAL STUDENT SERVICES ARE ANTICIPATED THAT WOULD INCREASE TRAFFIC VOLUMES TO WARRANT CARTWAY WIDENING OR ADDITIONAL RIGHT-OF-WAY.
- SECTION 192-57.C.9: WHICH REQUIRES SIDEWALKS TO BE ADDED ALONG ALL OF THE STREET FRONTAGES.  
WAIVER IS REQUESTED TO NOT INSTALL SIDEWALKS ALONG SIMPSON FERRY ROAD AND SAINT JOHN'S CHURCH ROAD.
- SECTION 192-58.C: WHICH REQUIRES STREET TREES BE PROVIDED ALONG STREET FRONTAGES(S).  
WAIVER IS REQUESTED TO NOT INSTALL STREET TREES ALONG LOWER ALLEN DRIVE, DUE TO CONFLICTS WITH SIDEWALKS AND UTILITIES, AS WELL AS IN THE RIGHT-OF-WAY OF SIMPSON FERRY ROAD. THE REQUIRED NUMBER OF TREES ARE PRESENT WITHIN THE FRONT YARD, BUT NOT LOCATED WITHIN THE RIGHT-OF-WAY.

#### FINAL LAND DEVELOPMENT PLAN SHEET INDEX

DRAWING SHEET NO.	DRAWING TITLE
C-1	TITLE SHEET
C-2	MASTER OVERALL EXISTING SITE CONDITIONS PLAN
C-3	ENLARGED EXISTING CONDITIONS AND SITE GRADING PLAN
C-4	SITE LIGHTING PLAN AND DETAILS

#### CUMBERLAND COUNTY PLANNING DEPARTMENT

REVIEWED THIS 1 DAY OF March, 2024 BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT.

Kirk Stancice  
DIRECTOR OF PLANNING

#### LOWER ALLEN TOWNSHIP PLANNING COMMISSION REVIEW

AT A MEETING ON 20 DAY OF May, 2024, THE LOWER ALLEN TOWNSHIP PLANNING COMMISSION RECOMMENDED APPROVAL OF THIS PLAN.

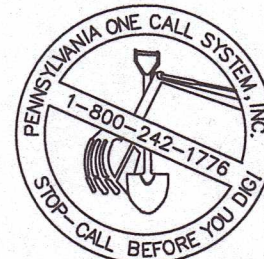
#### LOWER ALLEN TOWNSHIP ENGINEER REVIEW

ON THIS DATE April 1, 2024 HAS REVIEWED THE SWM SITE PLAN AND FINDS IT TO BE CONSISTENT WITH THE DESIGN STANDARDS AND CRITERIA OF THE LOWER ALLEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

#### LOWER ALLEN TOWNSHIP BOARD OF COMMISSIONERS

APPROVED BY THE BOARD OF COMMISSIONERS, LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA. APPROVED THIS 1st DAY OF May, 2024.  
CONDITIONS OF APPROVAL COMPLETED THIS 13th DAY OF May, 2024.

Dan W. Villone PRESIDENT  
Thomas B. Verma, Jr. SECRETARY



SITE DESIGN CONCEPTS, INC. HAS MET THE OBLIGATIONS OF PA ACT 121 OF THE PENNSYLVANIA GENERAL ASSEMBLY IN PREPARING THIS PLAN. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHOULD CONTACT THE PA ONE CALL SYSTEM (1-800-242-1776) PRIOR TO ANY EXCAVATION AS REQUIRED BY THE PA ACT 121 AS PER THE LATEST AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 09, 2008.

#### DESIGN SERIAL NUMBER 20230552290 (LOWER ALLEN TOWNSHIP)

PENNSYLVANIA AMERICAN WATER  
852 WESLEY DRIVE  
MECHANICSBURG, PA 17055  
CONTACT: JEFF HORTON  
EMAIL: JEFF.HORTON@PAWATER.COM

VERIZON PENNSYLVANIA LLC  
1028 HAY STREET  
PITTSBURGH, PA 15221  
CONTACT: DEBORAH BARUM  
EMAIL: DEBORAH.DUBOIS@VERIZON.COM

LOWER ALLEN TWP AUTHORITY  
120 LIMEXLN ROAD  
NEW CUMBERLAND, PA 17070  
CONTACT: BRIAN KAUFFMAN  
EMAIL: BKAUFFMAN@LATWP.ORG

LOWER ALLEN TOWNSHIP  
2233 GETTYSBURG ROAD  
CAMP HILL, PA 17011  
CONTACT: BRYCE THOMPSON  
EMAIL: BTHOMPSON@LATWP.ORG

METROPOLITAN EDISON CO./FIRSTENERGY  
21 SOUTH MAIN STREET  
AKRON, OH 44308  
CONTACT: TICKET SCREENING PERSONNEL  
EMAIL: TICKET\_SCREENING@FIRSTENERGYCORP.COM

PPL ELECTRIC UTILITIES CORPORATION  
437 BLUE CHURCH ROAD  
PAXINOS, PA 17850  
CONTACT: DOUG HAUPT  
EMAIL: DHAUPT@PPLWEB.COM

COMCAST  
4601 SMITH STREET  
HARRISBURG, PA 17109  
CONTACT: MICHAEL SWEIGARD  
EMAIL: MIKE\_SWEIGARD@CABLE.COMCAST.NET

UGI UTILITIES INC.  
1301 AIP DRIVE  
MIDDLETOWN, PA 17057  
CONTACT: STEPHEN BATEMAN  
EMAIL: SBATEMAN@UGI.COM

#### RECORDER OF DEEDS CERTIFICATE

RECORDED IN THE CUMBERLAND COUNTY COURTHOUSE.  
RECORDED THIS 29th DAY OF May, 2024.  
INSTRUMENT NO. 202405290001

#### CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION

(OWNER - UPL-13-23-0553-013EX)  
FORM OF AFFIDAVIT

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF Dauphin

ON THIS, THE 29 DAY OF April, 2024, BEFORE ME,  
April Reifer, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY  
APPEARED Timothy C. Seiser, BEING Bishop OF  
Diocese of Harrisburg, TO ME KNOWN OR PROVEN, BEING DULY  
SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE ENTITY IS THE  
Owner OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN  
THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE  
THE ENTITY'S ACT AND PLAN, THAT THE ENTITY DESIRES THE SAME TO BE RECORDED AND  
THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY  
(EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE  
PUBLIC USE.

THE ROMAN CATHOLIC DIOCESE OF  
HARRISBURG (TRINITY HIGH SCHOOL)  
3601 SIMPSON FERRY ROAD  
CAMP HILL, PA 17011

Timothy C. Seiser  
OFFICER SIGNATURE  
Timothy C. Seiser  
OFFICER PRINTED NAME  
Bishop  
TITLE  
April Reifer  
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal  
APRIL REIFER - Notary Public  
Dauphin County  
My Commission Expires July 10, 2025  
Commission Number 1250600

NOTARY STAMP SEAL

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#### TITLE SHEET

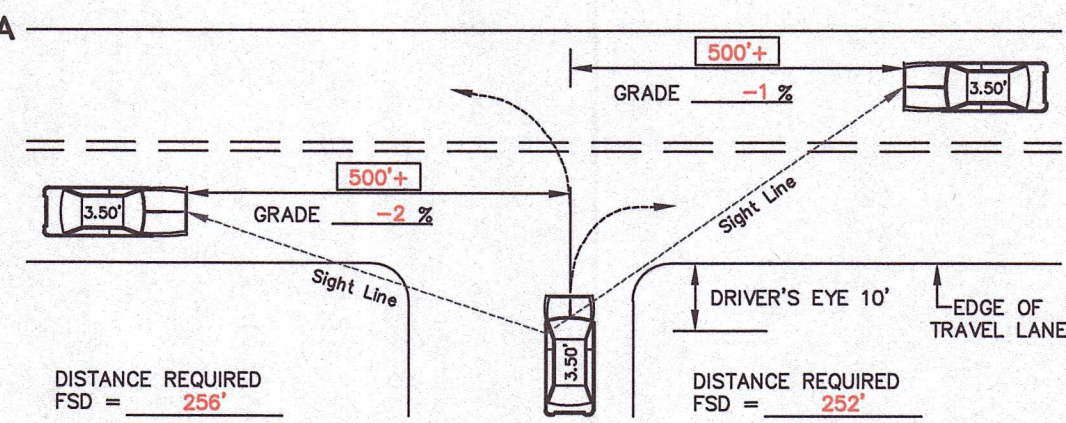
PROJECT  
PROPOSED BAND ROOM ADDITION  
FOR  
TRINITY HIGH SCHOOL  
3601 SIMPSON FERRY ROAD  
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

SCALE	AS NOTED
DRAWN BY	RMH
CHECKED BY	GAA
CONTACT	GAA
DATE	02.20.24
FILE NAME	1530.1 LD-1
JOB NO.	1530.1
SHEET NO.	C-1
REV.	1



PCNWL 000115501, Trinity High School, Simpson Ferry Rd ID Plan for Right-of-Way Expansion, Lower Allen Township, Cumberland County, Pennsylvania, 3/20/2024, 3:07 PM

APPLICANT TRINITY HIGH SCHOOL APPLICATION NO. \_\_\_\_\_  
STREET SIMPSON FERRY ROAD LEGAL SPEED LIMIT 35 MPH  
MEASURED BY MSD DATE 06.12.23  
FOR DEPARTMENT USE ONLY: Safe-Running Speed 85th Percentile Speed \_\_\_\_\_



THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER AT AN DRIVEWAY LOCATION CAN CONTINUOUSLY SEE ANOTHER VEHICLE APPROACHING ON THE ROADWAY.

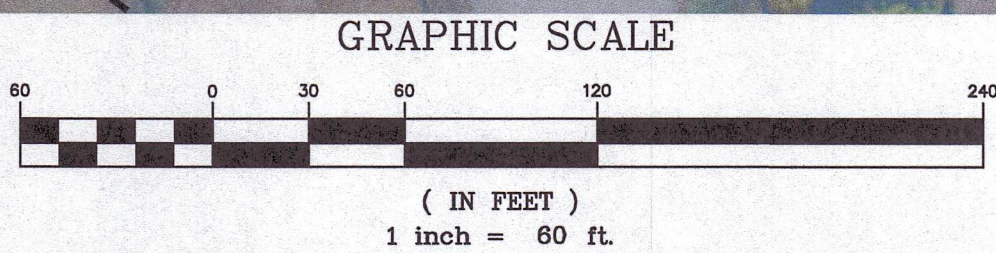
## DRIVEWAY SIGHT DISTANCE MEASUREMENTS

(ACCESS DRIVE)

NO SCALE

### SOILS LEGEND

HaA HAGERSTOWN SILT LOAM, 0 TO 3 PERCENT SLOPES  
HaB HAGERSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES  
HaC HAGERSTOWN SILT LOAM, 8 TO 15 PERCENT SLOPES  
Ub URBAN LAND



NOTES:  
1 BOUNDARY SHOWN BASED UPON DEED PLOTTING. A FULL BOUNDARY SURVEY WAS NOT COMPLETED.

## MASTER OVERALL EXISTING SITE CONDITIONS PLAN

PROJECT  
PROPOSED BAND ROOM ADDITION  
FOR  
TRINITY HIGH SCHOOL  
3601 SIMPSON FERRY ROAD  
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

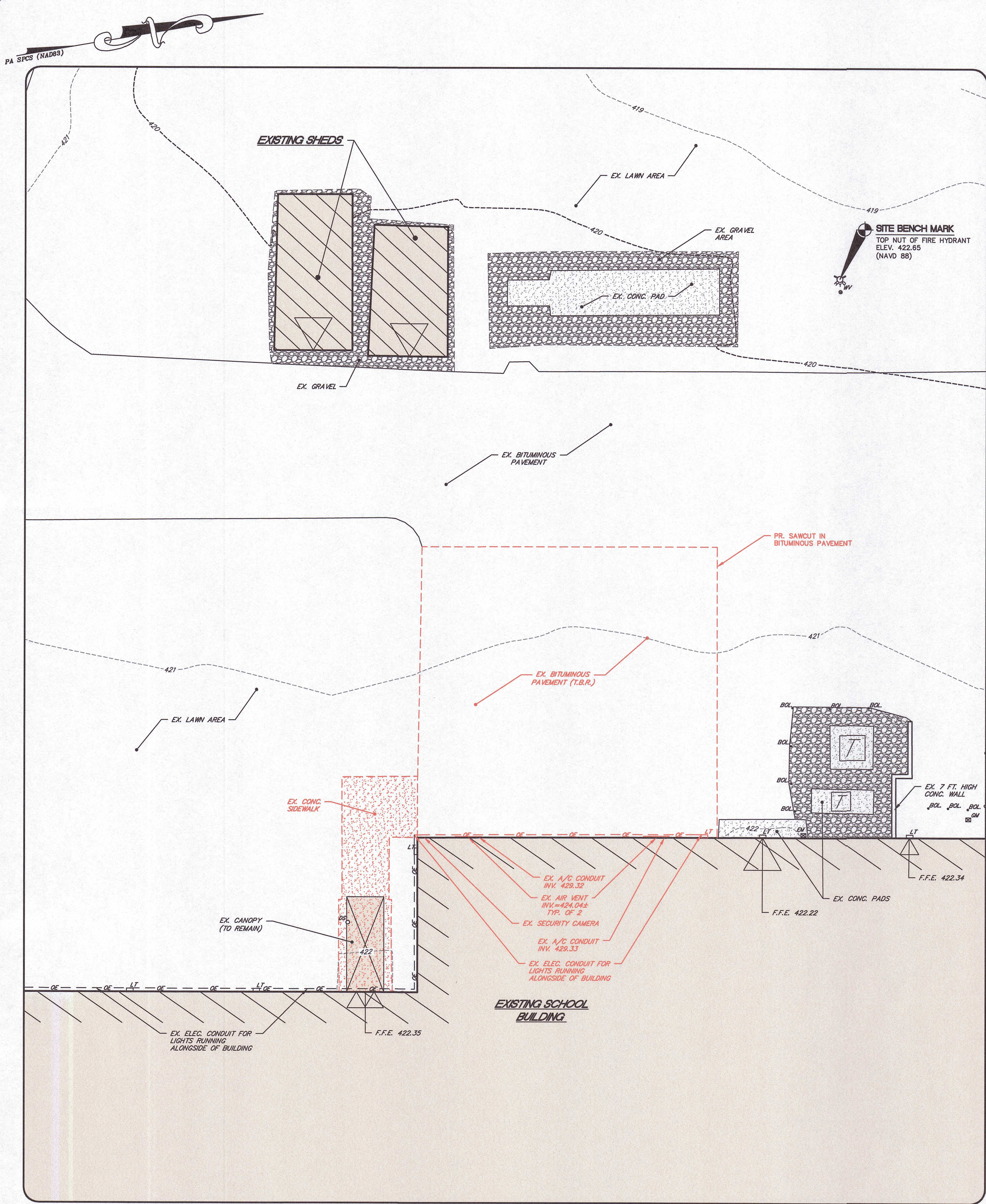
SCALE AS NOTED  
DRAWN BY RMH  
CHECKED BY GAA  
CONTACT GAA  
DATE 02.20.24  
FILE NAME 1530.1.LD-1  
JOB NO. 1530.1  
SHEET NO. C-2  
REV. 1

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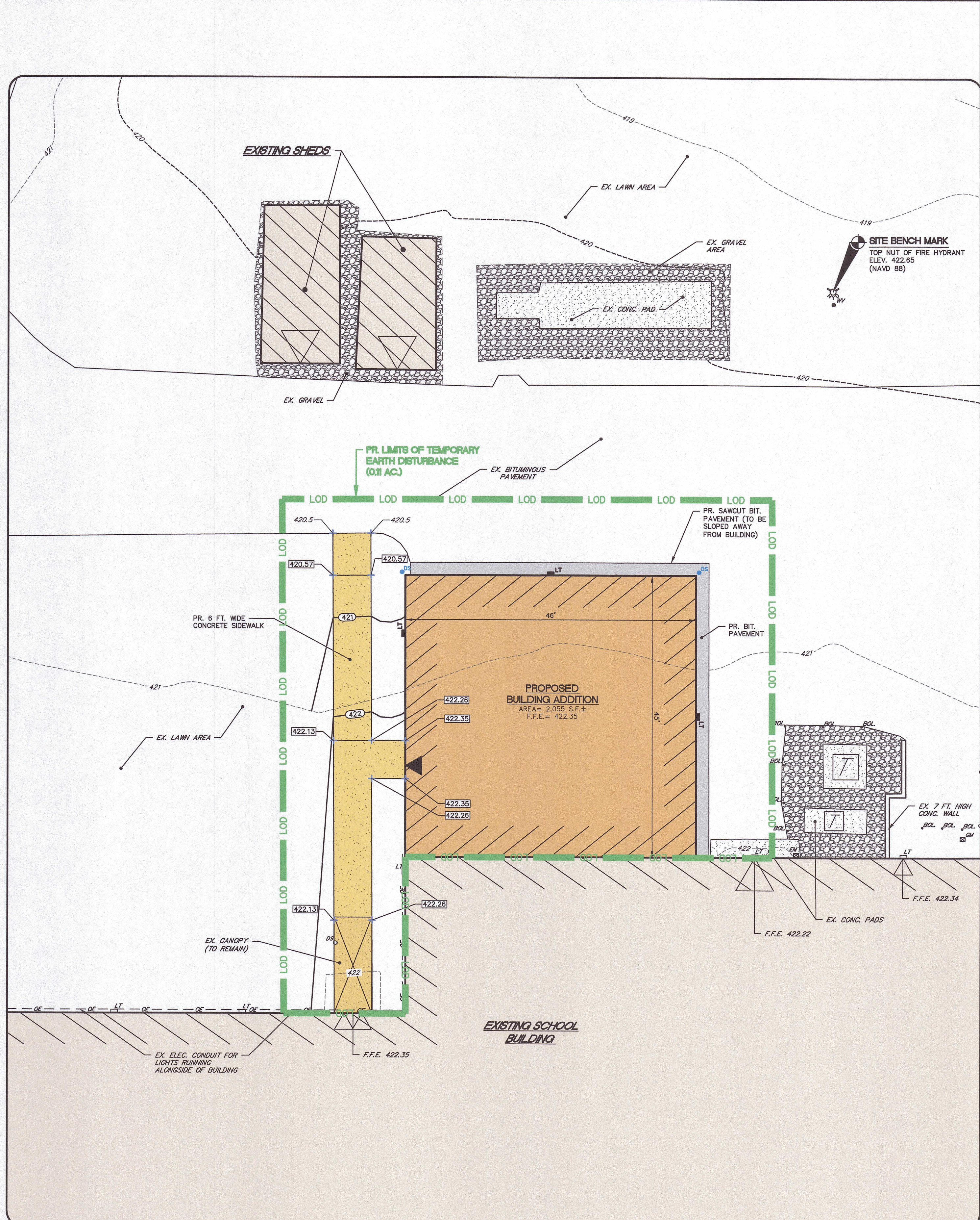
NO.	DATE	REVISIONS	COMMENTS
1	03.22.24		REVISED PER TOWNSHIP ENGINEER COMMENTS







PREDEVELOPMENT EXHIBIT



POSTDEVELOPMENT EXHIBIT

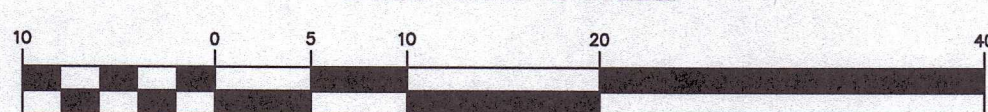
GENERAL PLAN LEGEND

---	EXISTING CONTOUR LINE	▲	PROPOSED MAN DOOR LOCATION	ELEV.	ELEVATION
- - -	EXISTING GAS LINE	△	EXISTING DOCK/OVERHEAD LOCATION	EX.	EXISTING
- - -	EXISTING OVERHEAD ELECTRIC LINE	○	CENTERLINE	F.F.	FINISHED FLOOR (ELEVATION)
●	EXISTING FIRE HYDRANT	○	EXISTING GAS METER	FT.	FEET OR FOOT
●	EXISTING WATER VALVE	○	EXISTING ELECTRIC METER	IN.	INCHES
●	EXISTING BOLLARD	○	EXISTING ELECTRIC METER	INV.	INVERT
●	EXISTING BOLLARD	○	EXISTING ELECTRIC METER	N/F	NOW OR FORMERLY
●	EXISTING BOLLARD	○	EXISTING ELECTRIC METER	P.B.	PLAN BOOK
●	EXISTING BOLLARD	○	EXISTING ELECTRIC METER	PG.	PAGE
●	EXISTING BOLLARD	○	EXISTING ELECTRIC METER	PR.	PROPOSED
●	EXISTING BOLLARD	○	EXISTING ELECTRIC METER	SPCS	STATE PLANE COORDINATE SYSTEM
●	EXISTING BOLLARD	○	EXISTING ELECTRIC METER	T.B.R.	TO BE REMOVED
●	EXISTING BOLLARD	○	EXISTING ELECTRIC METER	TYP.	TYPICAL
●	EXISTING BOLLARD	○	EXISTING ELECTRIC METER	UPI	UNIFORM PARCEL IDENTIFIER

HATCH LEGEND

EXISTING BUILDING	PROPOSED BUILDING
EXISTING CONCRETE	PROPOSED CONCRETE
EXISTING CONCRETE (T.B.R.)	PROPOSED BITUMINOUS PAVEMENT
EXISTING GRAVEL	

GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft.

DEMOLITION NOTES:

- ALL EXISTING IMPROVEMENTS TO BE DEMOLISHED AND REMOVED FROM THE SITE, ABANDONED IN-PLACE WITH DEVELOPER'S APPROVAL, OR REUSED ON-SITE WITH DEVELOPER'S APPROVAL ARE SHOWN AS RED.
- SITE CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES LOCATIONS, DEPTHS AND CROSSINGS WITH PROPOSED SITE IMPROVEMENTS PRIOR TO INSTALLATION. THE SITE ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON DISCOVERY OF ANY CONFLICTS.

SITE DEMOLITION NOTES

- IN ADDITION TO THIS PLAN, THE SITE LAYOUT PLAN, SITE GRADING PLAN, SITE UTILITY PLAN, AND SITE LANDSCAPE PLAN SHALL BE USED BY THE SITE CONTRACTOR TO DETERMINE THE LIMITS OF EXISTING IMPROVEMENTS TO BE DEMOLISHED AND REMOVED IN ORDER TO ALLOW THE CONSTRUCTION OF THE PROPOSED PROJECT. ANY QUESTIONS OR DISCREPANCIES REGARDING THE LIMITS OF PROPOSED SITE DEMOLITION SHALL BE BROUGHT TO THE ATTENTION OF SITE DESIGN CONCEPTS, INC. PRIOR TO THE START OF CONSTRUCTION.
- ALL PROPOSED SITE DEMOLITION AND DISPOSAL OF DEMOLISHED MATERIALS SHALL BE COMPLETED IN ACCORDANCE WITH ALL AGENCIES HAVING JURISDICTION OVER SUCH OPERATIONS AS APPLICABLE.
- CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER PRIOR TO THE REMOVAL, DEMOLITION OR DISPOSAL OF ANY EXISTING SITE IMPROVEMENTS, INCLUDING, BUT NOT LIMITED TO, PAVING, TREES, SHRUBS AND OTHER PLANTINGS, AND SIGNS. STORAGE OF ANY SALVAGED MATERIALS SHALL BE COORDINATED WITH THE OWNER.
- REFER TO AND REVIEW THE GENERAL CONSTRUCTION NOTES ON DWG. SHT. C-2 PRIOR TO THE START OF DEMOLITION WORK. ALL DEMOLISHED SITE MATERIALS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROVED LOCATION, UNLESS APPROVED OTHERWISE BY OWNER.
- ANY EXISTING BITUMINOUS PAVING, CONCRETE CURB, CONCRETE PADS, SIDEWALK, UTILITY OR OTHER EXISTING IMPROVEMENT (SCHEDULED TO REMAIN) THAT IS DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REMOVED AND REPLACED, OR REPAIRED WITH MATERIAL EQUAL TO OR EXCEEDING THAT WHICH WAS DISTURBED, OR AS SPECIFIED BY THE OWNER, PROJECT OR MUNICIPAL ENGINEER, AS APPLICABLE. WHEN REMOVING AND REPLACING CONCRETE CURB, CONCRETE PADS AND/OR SIDEWALK, REMOVAL SHALL BE TO THE NEAREST EXPANSION JOINT IF POSSIBLE, TO CREATE A CLEAN, TOGGED (NON-SAWCUT) JOINT. PROVIDE DOWELS AT JOINTS AND INSTALL NEW EXPANSION JOINT MATERIAL AS REQUIRED.
- EXISTING OVERHEAD/UNDERGROUND ELECTRIC, TELEPHONE, CABLE, TELECOMMUNICATION, OR OTHER UTILITY LINES SCHEDULED TO BE REMOVED AND/OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER(S) PRIOR TO THE START OF CONSTRUCTION.

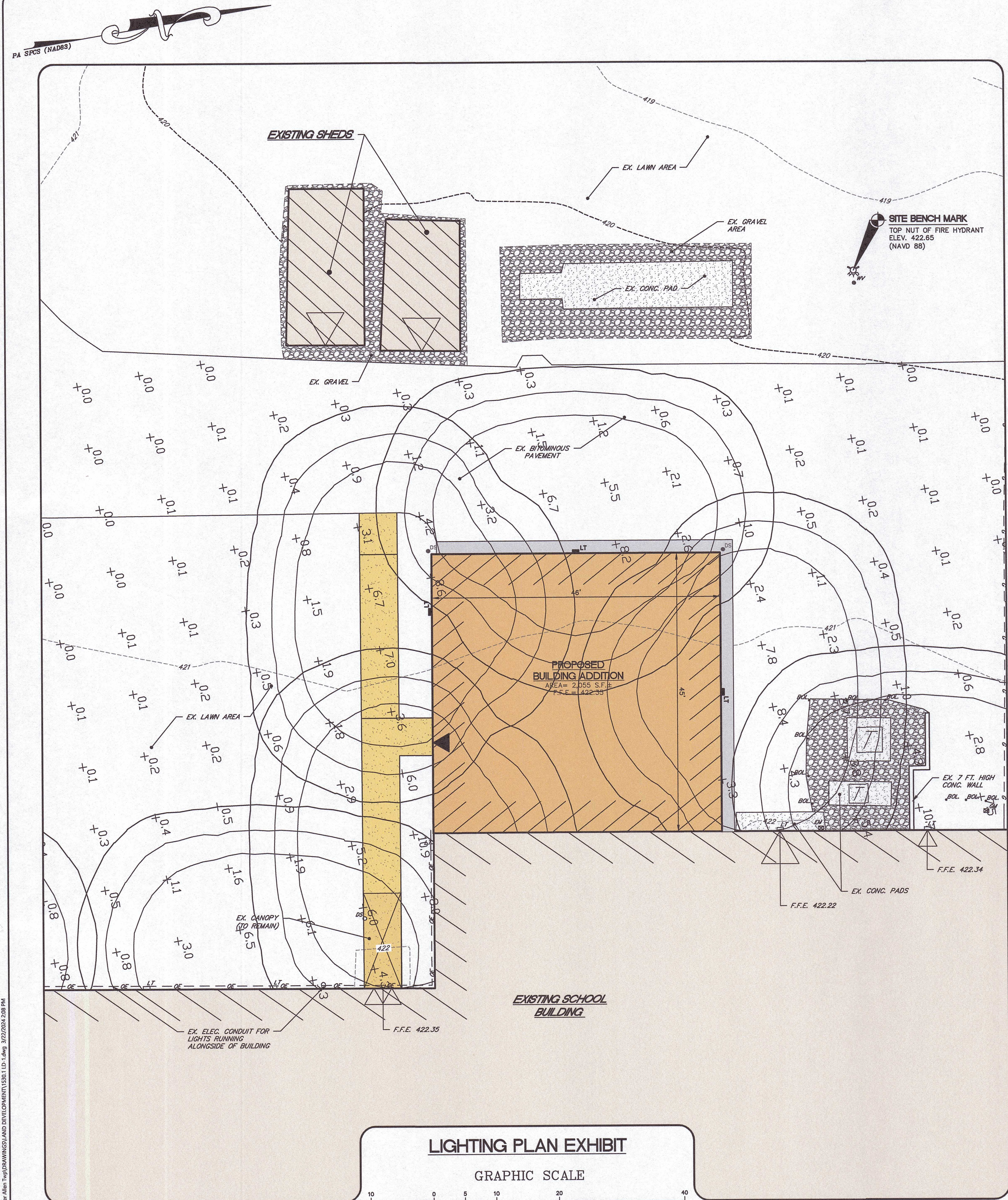
NO.	DATE	REVISIONS	COMMENTS
1	03.22.24	REVISED PER TOWNSHIP ENGINEER COMMENTS	

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**ENLARGED EXISTING CONDITIONS AND SITE GRADING PLAN**  
FOR  
**PROPOSED BAND ROOM ADDITION**  
**TRINITY HIGH SCHOOL**  
**3601 SIMPSON FERRY ROAD**  
**LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA**

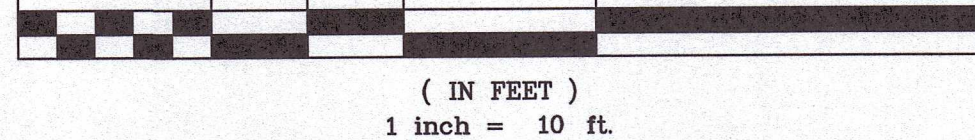
SCALE	AS NOTED
DRAWN BY	RMH
CHECKED BY	GAA
CONTACT	GAA
DATE	02.20.24
FILE NAME	1530.1 LD-1
JOB NO.	1530.1
SHEET NO.	C-3
REV.	1





### LIGHTING PLAN EXHIBIT

GRAPHIC SCALE



### GENERAL PLAN LEGEND

---	EXISTING CONTOUR LINE	▲	PROPOSED MAN DOOR LOCATION	ELEV.	ELEVATION
---	EXISTING GAS LINE	▲	EXISTING DOOR/OVERHEAD LOCATION	EX.	EXISTING
---	EXISTING OVERHEAD ELECTRIC LINE	▲	CENTERLINE	F.F.	FINISHED FLOOR (ELEVATION)
---	EXISTING FIRE HYDRANT	▲	EXISTING GAS METER	IN.	INCHES
---	EXISTING WATER VALVE	▲	EXISTING ELECTRIC METER	INV.	INVERT
---	EXISTING BOLLARD	▲	EXISTING TRANSFORMER	N/O	NOW OR FORMERLY
---	PROPOSED BOLLARD	▲	BITUMINOUS	P.B.	PAGE
---	PROPOSED DOWNSPOUT	▲	CONCRETE	PR.	PROPOSED
---	EXISTING WALL PACK LIGHT	▲	DEED BOOK	SPCS	STATE PLANE COORDINATE SYSTEM
---	PROPOSED WALL PACK LIGHT	▲	DIAMETER	T.B.R.	TO BE REMOVED
---	EXISTING MAN DOOR LOCATION	▲		TYP.	TYPICAL
---		▲		UPI	UNIFORM PARCEL IDENTIFIER

### HATCH LEGEND

	EXISTING BUILDING		PROPOSED BUILDING
	EXISTING CONCRETE		PROPOSED CONCRETE
	EXISTING GRAVEL		PROPOSED BITUMINOUS PAVEMENT

### GENERAL NOTES

- ALL BUILDING MATERIALS AND WASTE MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE PA DEP'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 Pa CODE 280.1 et. seq., SEC. 271.1 et. seq., AND SEC. 287.1 et. seq. NO BUILDING MATERIAL OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDING AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- ANY SHALLOW SEASONALLY HIGH WATER TABLE ENCOUNTERED DURING EXCAVATION ACTIVITIES (UTILITIES) SHALL BE PUMPED THROUGH A FILTER BAG AS AN EROSION CONTROL BEST MANAGEMENT PRACTICE.

### PERMANENT SEEDING AND MULCHING SPECIFICATIONS AND NOTES

PERMANENT GRASS OR LEGUME COVER.

- ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED SHALL BE COVERED WITH GRASS OR A LEGUME IN ORDER TO MINIMIZE EROSION, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- MULCHING SHALL BE USED TO PROTECT SEEDING AND TO REDUCE RUNOFF. STRAW MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 3 TONS/ACRE.
- THE BELOW PERMANENT SEEDING MIXTURES ARE FROM THE PENN STATE AGRONOMY GUIDE. THE SEED MIXTURES SHALL CONSIST OF:

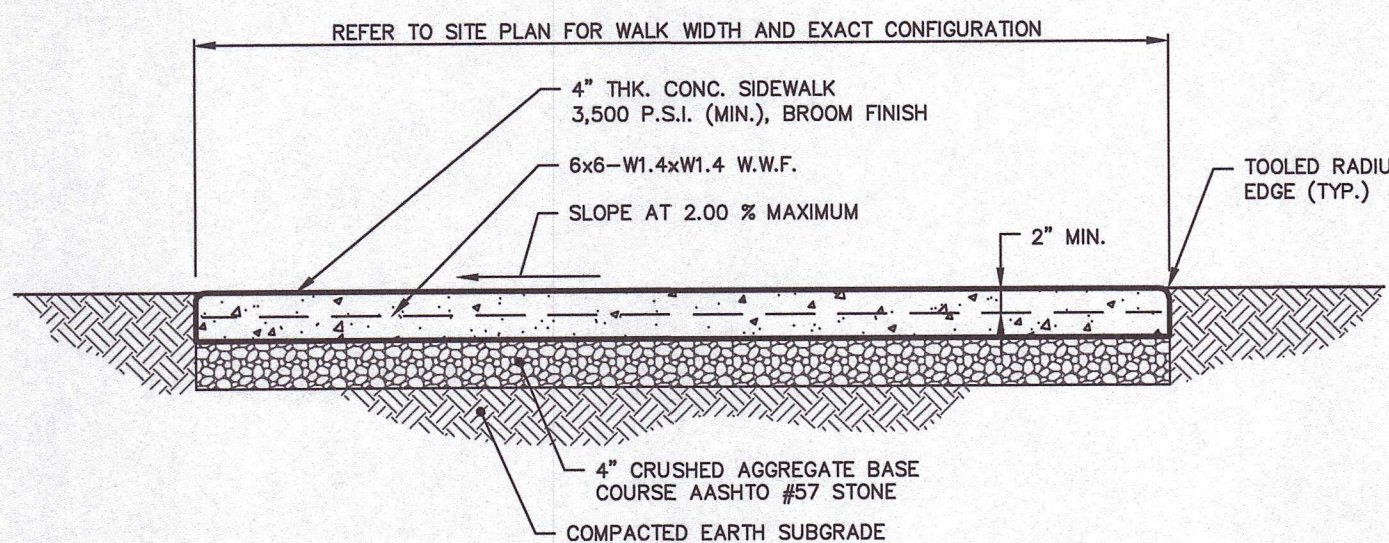
SEED TYPE	% BY WT.	SEEDING RATE	SEEDING DATES
LAWN MIX (USED THROUGHOUT SITE)			
KY. BLUEGRASS	30%	4 LBS./1,000 S.F.	MARCH 15 TO JUNE 1
CREEP RED FESCUE	55%		AUGUST 1 TO OCTOBER 15
PERENNIAL RYEGRASS	15%		
- IN THE ABSENCE OF SOIL TEST RESULTS, FERTILIZER OF 10-20-20 AT AN APPLICATION RATE OF 1,000 LB./ACRE SHALL BE APPLIED WITH THE PERMANENT SEEDING.
- IN THE ABSENCE OF SOIL TEST RESULTS, LIME AT AN APPLICATION RATE OF 6 TONS/ACRE OF AGRICULTURAL GRADE LIME SHALL BE APPLIED WITH THE PERMANENT SEEDING.
- STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL - ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.

### NOTES:

- MAINTAIN GRAVEL/PAVED AREAS AT DOWNSPOUTS AND SPLASH PADS IN STABLE CONDITIONS. REPAIR ANY EROSION OR WASHOUTS IMMEDIATELY.
- IF BUILDING DOWNSPOUT LOCATIONS ARE NOT SHOWN ON THE SITE PLANS, CONTRACTOR SHALL DETERMINE THE LOCATIONS BASED UPON THE ARCHITECTURAL PLANS AND VERIFY THE FINAL PIPE SIZES AND CONNECTION POINTS WITH THE SITE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

### TYPICAL DOWNSPOUT AND SPLASH PAD DETAIL

NO SCALE

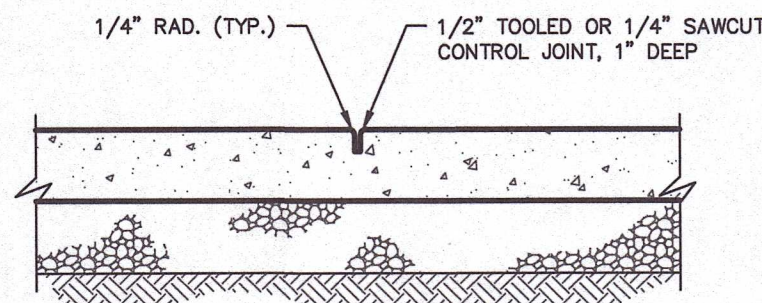


### NOTES:

- PROVIDE EXPANSION JOINTS AT MINIMUM 20 FT. CENTER TO CENTER.
- PROVIDE SCORED CONTROL JOINTS AT MINIMUM 5 FT. CENTER TO CENTER.
- ALL CONCRETE IS TO MEET ACI-318 CONSTRUCTION STANDARDS.
- PROVIDE TOOLED RADIUS EDGES ON ALL EXPOSED EDGES/CORNERS.

### TYPICAL CONCRETE SIDEWALK DETAIL

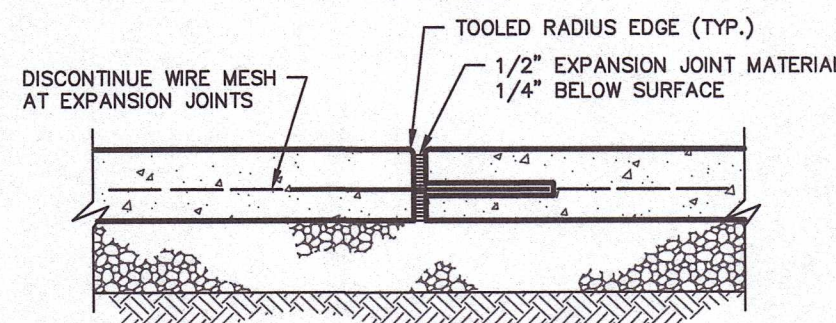
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NOTE:  
1. PROVIDE SCORED CONTROL JOINTS AT MINIMUM 5 FT. ON CENTER.

### TYPICAL CONCRETE SIDEWALK CONTROL JOINT DETAIL

NO SCALE

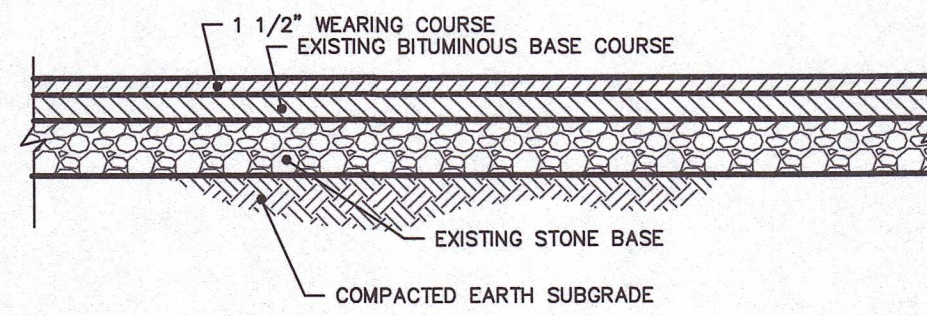


### NOTES:

- PROVIDE EXPANSION JOINTS AT MINIMUM 20' ON CENTER, OR AS SPECIFIED OTHERWISE ON THE PLANS/DETAILS.
- NO. 4 REBAR SPACED AT 24" ON CENTER (MAXIMUM) - ONE END TO BE RENDERED BONDLESS.

### TYPICAL CONCRETE EXPANSION JOINT DETAIL

NO SCALE

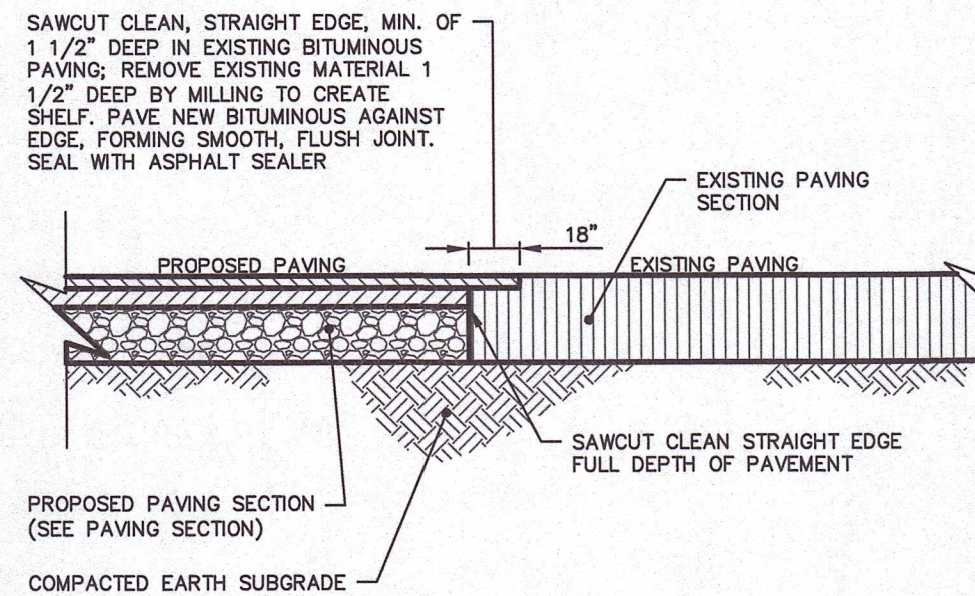


### NOTE:

- IF SATURATED SUBGRADE CONDITIONS ARE ENCOUNTERED, CONTRACTOR SHOULD NOTIFY ENGINEER IMMEDIATELY.

### BITUMINOUS PAVING SECTION

NO SCALE



### NOTES:

- PROVIDE PROPOSED PAVING NOTCH AT ALL LOCATIONS ALONG CONNECTION OF PROPOSED BITUMINOUS PAVING WITH EXISTING PAVING.
- CONTRACTOR TO VERIFY THAT SUFFICIENT PAVEMENT DEPTH OF EXISTING ASPHALT UNDERLIES BITUMINOUS OVERLAY.

### PROPOSED BITUMINOUS PAVING SAWCUT AND MILLING AT JOINT WITH EXISTING PAVING

NO SCALE

### SEQUENCE OF CONSTRUCTION

- PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES THAT TRAVERSE THE PROJECT AREA. ANY CONFLICTS WITH PROPOSED IMPROVEMENTS OR GRADING SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE SITE ENGINEER AND OWNER.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. ANY DEVIATION FROM THE FOLLOWING SEQUENCE MUST BE APPROVED IN WRITING FROM THE PROJECT ENGINEER.
- EXISTING PAVEMENT AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY TO PREVENT DIRTY RUNOFF FROM LEAVING THE PROJECT SITE.
- THIS PROJECT IS LOCATED IN THE CHESAPEAKE BAY WATERSHED. ALL EROSION AND SEDIMENTATION CONTROL BMPs FOR THIS PROJECT SHALL INCLUDE ADDITIONS TO MEET ABAQ CREDIT AS NOTED IN THE DETAILS.

- CLEARLY FIELD MARK THE LOCATIONS OF THE LIMITS OF EARTH DISTURBANCE AS SHOWN ON THE PLAN.
- BEGIN DEMOLITION OF ANY FEATURES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS. ALL MATERIALS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 280.1 ET. SEQ., 271.1, AND 287.1 ET. SEQ. NO WASTE SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- RELOCATE ANY UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS. ONLY EXCAVATE THE LENGTH OF TRENCH THAT CAN BE BACKFILLED IN ONE WORKING DAY. IMMEDIATELY STABILIZE WITH STONE BACKFILL AND/OR BITUMINOUS PAVEMENT.
- COMMENCE CONSTRUCTION OF THE BUILDING ADDITION. IMMEDIATELY STABILIZE ALL AREAS WITH SLOPES GREATER THAN 3:1 WITH SLOPE STABILIZATION MATTING, REFER TO DETAIL.
- BEGIN CONSTRUCTION OF THE CONCRETE SIDEWALK AS CONSTRUCTION OPERATIONS ALLOW.
- FINAL GRADE SITE PER CONTOURS AND SPOT ELEVATIONS SHOWN ON THE PLAN AND IMMEDIATELY SEED AND MULCH ALL DISTURBED AREAS PER THE PERMANENT SEEDING AND MULCHING SPECIFICATIONS.
- INSTALL BITUMINOUS BINDER COURSE AND WEARING COURSE IN PROPOSED PAVED AREAS AS SHOWN ON THE PLAN.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS (I.E. MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE EROSION CHARACTERISTICS TO RESIST SLIDING AND OTHER MOVEMENTS), THE OWNER AND/OR OPERATOR SHALL CONTACT THE PROJECT ENGINEER FOR AN INSPECTION PRIOR TO THE REMOVAL/CONVERSION OF THE EAS BMPs.
- UPON APPROVAL BY THE PROJECT ENGINEER, ALL REMAINING TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AND IMMEDIATELY STABILIZED IN THE AFFECTED AREAS.
  - REMOVE ANY OTHER REMAINING TEMPORARY SOIL EROSION BMP AND STABILIZE ANY REMAINING DISTURBED AREAS.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES, REMOVAL OF ALL TEMPORARY BMPs, AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE PROJECT ENGINEER FOR A FINAL INSPECTION.

### SCHEDULE NOTE:

THE ORDER OF THE ABOVE SCHEDULE IS SUBJECT TO CHANGE DUE TO SITE SPECIFIC CONDITIONS AND CONSTRUCTION METHODS. ANY CHANGES SHOULD BE MADE UNDER THE DIRECTION OF A REPRESENTATIVE OF CUMBERLAND COUNTY CONSERVATION DISTRICT AND PROJECT ENGINEER.

site design concepts  
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### SITE LIGHTING PLAN AND DETAILS

PROJECT

PROPOSED BAND ROOM ADDITION  
FOR  
TRINITY HIGH SCHOOL  
3601 SIMPSON FERRY ROAD  
LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

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